



PLANNING COMMISSION

May 19, 2016

CITY OF PORTAGE PLANNING COMMISSION

A G E N D A

May 19, 2016
(7:00 p.m.)

Portage City Hall Council Chambers

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF MINUTES:

- * May 5, 2016

PUBLIC HEARINGS:

- * 1. Final Report: Rezoning Application #15/16-5, 715 West Osterhout Avenue
- * 2. Special Land Use Permit/Height Modification: Dockerty Memory Care, 710 and 732 East Centre

SITE/FINAL PLANS:

- * 1. Site Plan: Dockerty Memory Care, 710 and 732 East Centre Avenue
- * 2. Site Plan: Chick-Fil-A, 6202 South Westnedge Avenue

NEW BUSINESS:

- * 1. Accessory Building (Fawley), 10848 Cora Drive

OLD BUSINESS: (Adjourn to Conference Room No. 1)

1. Community Impact Projects Grant Fund – additional discussion

STATEMENT OF CITIZENS:

ADJOURNMENT:

MATERIALS TRANSMITTED

April 26, 2016 City Council regular meeting minutes
April 26, 2016 City Council Committee of the Whole work session meeting minutes

Star (*) indicates printed material within the agenda packet.

PLANNING COMMISSION

May 5, 2016

 DRAFT

The City of Portage Planning Commission meeting of May 5, 2016 was called to order by Chairman Welch at 7:00 p.m. in Council Chambers of Portage City Hall, 7900 South Westnedge Avenue. Approximately 25 citizens were in attendance.

PLEDGE OF ALLEGIANCE:

Chairman Welch led the Commission, staff and citizens in the Pledge of Allegiance.

IN ATTENDANCE:

Christopher Forth, Deputy Director of Planning, Development and Neighborhood Services; Michael West, Senior City Planner; and Charlie Bear, Assistant City Attorney.

ROLL CALL:

Mr. Forth called the roll: Patterson (yes), Stoffer (yes), Welch (yes), Felicijan (not present), Dargitz (yes), Bosch (yeas), Somers (yes) and Schimmel (yes). A motion was offered by Commissioner Dargitz, seconded by Commissioner Schimmel, to approve the roll excusing Commissioner Richmond. The motion was unanimously approved 7-0.

APPROVAL OF MINUTES:

Chairman Welch referred the Commission to the April 21, 2016 meeting minutes contained in the agenda packet. A motion was then made by Commissioner Bosch, seconded by Commissioner Patterson, to approve the minutes as submitted. The motion was unanimously approved 7-0.

SITE/FINAL PLANS:

None.

PUBLIC HEARINGS:

1. Preliminary Plat of Whispering Meadows No. 4, 6513 Angling Road. Mr. Forth summarized the staff report dated April 29, 2016 regarding the request by Glas Associates to construct the fourth and final phase of the Whispering Meadows single-family residential subdivision. Mr. Forth stated Whispering Meadows No. 4 proposes 15 single family residential lots on approximately 12.78 acres. Mr. Forth indicated the existing 2-story farmhouse and detached garage building located on the property would be relocated to the northwestern portion of the site (0.4 acre parcel) and would be exempted from the plat. In conjunction with the preliminary plat, Mr. Forth stated the applicant was requesting variances from the Subdivision and Land Division Regulations involving extension/connection of public streets (Section 42-803) and installation of sidewalks along both sides of all streets (Section 42-804). Mr. Forth summarized the analysis section of the staff report and indicated staff is recommending approval of the preliminary plat, including the requested variances, subject to the three conditions outlined in the April 29, 2016 Department of Community Development report.

Mr. Charlie Glas of Glas Associates (applicant/developer) was present to support the proposed plat. Mr. Glas explained the rationale for the requested variances and thanked staff for their assistance during the review process. Chairman Welch opened the public hearing. There being no public comment, a motion was made by Commissioner Somers, supported by Commissioner Bosch, to close the public hearing. The motion was unanimously approved 7-0.

DRAFT

After a brief discussion, a motion was made by Commissioner Patterson, supported by Commissioner Bosch, to recommend to City Council approval of the Preliminary Plat of Whispering Meadows No. 4, 6513 Angling Road, subject to the three conditions outlined in the Department of Community report dated April 29, 2016 including the requested variances and with a finding that the criteria outlined in Section 42-713 of the Subdivision and Land Division Regulations for issuance of the variances had been satisfied. The motion was unanimously approved 7-0.

2. Preliminary Report; Rezoning Application #15/16-5, 715 West Osterhout Avenue. Mr. Forth summarized the preliminary staff report dated April 29, 2016 regarding a request from Landmark Development Properties LLC to rezone 715 West Osterhout Avenue from R-1C, one family residential to PD, planned development. Mr. Forth discussed the two-step PD process involving the rezoning/tentative plan review and then the subsequent final/site plan review. Mr. Forth stated the PD rezoning would facilitate construction of 102 single-family detached and attached residential condominium dwellings on approximate 39 acres. Mr. Forth summarized various elements of the proposed tentative plan including access, private street design/layout, sidewalks and walking trails, wetlands and open space preservation, phasing and overall density of the development. Mr. Forth then reviewed the preliminary analysis section of the report including the Comprehensive Plan/Future Land Use Plan designations and the suitability of the existing zoning and impacts of the proposed PD zoning.

Mr. Pat Flanagan of Ingersoll, Watson & McMachen (applicant's engineer) was present to support the rezoning application and explain the planned development project. Mr. Flanagan introduced Mr. Aaron Hovestadt (principal of Landmark Development Properties) and thanked staff for their assistance during the review process. Mr. Flanagan presented a color rendering of the proposed development project and discussed the plans to install a fire sprinkler system within each dwelling unit. Mr. Flanagan discussed the target market of the development (55 years and older, "empty nesters") and reviewed various aspects of the project including access, internal private street network, sidewalks and walking trails, size and square footage of the homes, building materials and energy efficiency features, building setbacks, phasing and development densities, wetlands assessment, storm water management, open space areas and plans to preserve mature trees and natural areas across the property.

The public hearing was opened by Chairman Welch. Two citizens spoke regarding the proposed rezoning: 1) Mr. Elmon Oliver, 951 West Osterhout Avenue and 2) Mr. Mike Davidovich. Mr. Oliver stated he had no objections to the development project and Mr. Davidovich had questions regarding construction traffic. After additional discussion, a motion was made by Commissioner Bosch, seconded by Commissioner Schimmel, to adjourn the public hearing for Rezoning Application #15/16-5, 715 West Osterhout Avenue, to the May 19, 2016 meeting. The motion was unanimously approved 7-0.

3. Special Land Use Permit: KEPS Technologies (Verizon antenna collocation), 6301 South Westnedge Avenue. Mr. West summarized the staff report dated April 29, 2016 regarding a request from KEPS Technologies to install three (3) 10-foot tall telecommunication antennas on top of the roof of the existing Verizon Wireless building located at 6301 South Westnedge Avenue. Mr. West stated that Section 42-135.G.1.c of the Wireless Telecommunications Facilities and Towers Ordinance permits placement or collocation of antennas on existing conforming towers, buildings and similar structures. Mr. West indicated the antennas would be slate grey or brush silver in color so as to blend into the existing structure and surroundings and would extend approximately 10-feet above the top of the roof. Mr. West stated the application fulfills the requirements for issuance of a special land use permit and was recommended for approval. Mr. West also referred the Commission to an April 29, 2016 letter from KIN Properties contained in the final agenda packet opposing the antenna collocation.

Ms. Kacey Polisky of ACD.net (applicant representative) was present to support the application and to discuss the need for the additional antennas. Ms. Polisky stated the three antennas, along with other antenna locations planned across the area, were necessary to improve in-building coverage and to reduce the over saturation that was occurring in the Verizon Wireless network. The public hearing was then opened by Chairman Welch. One citizen spoke regard to the proposed special land use permit: Mr. Brandon Ovenhander

 **DRAFT**

(representing Aldi Food Stores, 6291 South Westnedge Avenue). Mr. Ovenhander spoke in opposition to the proposed antennas citing visual and aesthetic concerns. A motion was made by Commissioner Bosch, seconded by Commissioner Somers, to close the public hearing. The motion was unanimously approved 7-0.

After a brief discussion regarding the height of the antennas, the parapet around the building perimeter and the height of other structures in the area such as parking lot light poles, a motion was made by Commissioner Patterson, seconded by Commissioner Bosch, to approve the Special Land Use Permit for KEPS Technologies (Verizon antenna colocation), 6301 South Westnedge Avenue. The motion was unanimously approved 7-0.

NEW BUSINESS:

None.

STATEMENT OF CITIZENS:

None.

OLD BUSINESS:

None.

ADJOURNMENT:

There being no further business to come before the Commission, the meeting was adjourned at 8:15 p.m.

Respectfully submitted,

Christopher T. Forth, AICP
Deputy Director of Planning, Development and Neighborhood Services

TO: Planning Commission **DATE:** May 13, 2016
FROM: Vicki Georgeau, ^{VA} Director of Community Development
SUBJECT: Final Report: Rezoning Application 15/16-5, 715 West Osterhout Avenue (PD – residential condominium)

I. APPLICATION INFORMATION:

A PD, planned development rezoning application has been received from Landmark Development Partners, LLC involving an approximate 39 acre parcel addressed as 715 West Osterhout Avenue. Landmark Development Properties has entered into a tentative sales agreement to purchase the subject property and construct a mixed housing (single family, attached residential and duplex) condominium development project. Attached is the rezoning application, narrative and tentative plan.

Applicant	Property Address	Parcel Number	Zoning	
			Existing	Proposed
Landmark Development Properties, LLC	715 West Osterhout Avenue	00033-160-O	R-1C	PD
One parcel: 39 acres				

II. EXISTING CONDITIONS:

The table below summarizes the existing conditions in this general area.

Existing Land Use/ Zoning	<ul style="list-style-type: none"> • <u>Rezoning Site:</u> The approximate 39 acre subject property is occupied by a 1,072 square foot two-story single family residence that was constructed in approximately 1930. The residential structure is currently vacant and has been unoccupied since approximately November 2014. This residential dwelling has been identified as an unsafe structure will be demolished with construction of the proposed residential condominium project or by July 15, 2016, whichever occurs first. • <u>North:</u> Across West Osterhout Avenue, single family residences and Schrier Park zoned R-1C, one family residential. • <u>South:</u> Gourdneck State Game Area zoned R-1C, one family residential. • <u>East:</u> A single family residence (443 West Osterhout Avenue) and vacant land zoned R-1C, one family residential. • <u>West:</u> A single family residence (951 West Osterhout Avenue) and vacant land zoned R-1C, one family residential.
Zoning/Development History	No recent rezoning activities in the surrounding area.
Historic District/ Structures	The subject site is not located within a historic district and does not contain any historic structures.
Environmental	The eastern/southeastern portion of the subject property (approximately 6.3 acres) has been identified as regulated wetlands. The applicant hired a wetland consultant who performed a wetland assessment of the property and the wetland boundary is identified on the tentative plan drawing. No encroachment into the wetlands is proposed with the residential condominium development.

Public Streets	West Osterhout Avenue is classified as a 2-lane minor arterial roadway with a 2012 average daily traffic count of 4,436 vehicles. The capacity of this section of West Osterhout Avenue is 16,500 vehicles per day (level of service “D”).
Public Utilities	Sanitary sewer and municipal water are available within the West Osterhout Avenue to serve the proposed development project.

III. ZONING CODE/PLANNED DEVELOPMENT PROCEDURES/REGULATIONS:

The PD, planned development chapter establishes a two-part review and approval process: Tentative plan review and final plan review for each phase of the development. The applicant is required to submit a tentative plan that outlines the development concept (phases) for the entire project. Although conceptual in nature, specific statements, proposals, plans and a schedule for development of the site are required. The tentative plan is scheduled for Planning Commission review and a public hearing. The submission of both written and graphic information constitutes a tentative plan.

The Planning Commission will provide a recommendation to City Council regarding the tentative plan. If approved, the planned development must proceed in accordance with the tentative plan. Approval of the tentative plan by Council constitutes rezoning of the land to PD and allows the submission of a final plan for Administrative, Planning Commission and City Council review. A final plan is submitted in detailed form and is subject to a review process similar to a site plan. If no final plan for development is submitted within two years from the date of approval of the tentative plan, Council may either extend the approval for a period not to exceed two years or initiate rezoning proceedings to re-designate the property to an alternate zoning classification. Under the terms of the ordinance, any change to the tentative plan, such as modifying an approved land use class or adding a land use class, will require formal review and approval, with public hearings, in a manner similar to a rezoning procedure.

Section 42-374 of the Land Development Regulations contains the PD district development standards. This section provides flexibility in the types of land uses of which up to 20% of the total land area available can be utilized for nonresidential uses. The planned development is required to provide public water, public sanitary sewer and a pedestrian system. The applicant must demonstrate that the plan cannot be developed under other sections of the Zoning Code or must provide a mixture of housing types. The overall density of the project may not exceed seven units per acre and density in any one phase may not exceed 12 units per acre. Single family “lots” cannot average less than 6,500 square feet with a minimum of 5,000 square feet. Building setbacks, building height, open space and screening are also regulated under the ordinance.

IV. PROPOSED TENTATIVE PLAN:

As indicated by the applicant in the attached written narrative, the objective of the planned development is to create an attractive, high quality neighborhood of single family detached and attached homes with private streets, sidewalks, on-site trails and preservation of natural areas for the enjoyment of the residents. The tentative plan illustrates 102 residential dwelling units, which would result in an overall development density of approximately 2.6 units/per acre. Note 19 on the tentative plan specifies the PD would have a maximum of 104 dwelling units. The applicant anticipates that approximately 66%

of the residential structures will be single-family detached dwellings and the remainder will be single-family attached dwellings (approximately 30%) and possible duplex dwellings (approximately 4%). Each home will feature quality construction, interior fire sprinklers, maintenance free materials and energy efficient features. Single family residential condominium units will include two and three bedroom floor plans with between 1,550 – 1,950 square feet of living area, excluding any basement area, and an attached two-car garage. According to the applicant, most of the homes will also have a front porch and either a deck, patio or 3-season porch attached to the rear of the dwelling. Pricing for these residential condominiums is anticipated to begin around \$210,000 and range upward to \$350,000. Other features of the proposed planned development project include:

- Pedestrian Walkway/Trailway – Concrete sidewalks will be constructed on at least one side of the interior private streets. Additionally, a walking trail (stone or wood chip) will also be constructed on an upland area along the east side of the property between the east property line and identified wetland area. This trail will also provide pedestrian access to the Gourdneck State Game Area located to the south. Additionally, a pedestrian connection is planned to connect this development to a future phase of the Stateland Park subdivision located immediately to the west. The walking trail will be constructed with Phase 1 and the pedestrian connection to the future phase of Stateland Park will be constructed with Phase 2.
- Open Space Features – Open space will be preserved to serve as an amenity to the development and to provide active and passive recreation options for the residents. Primary natural areas that will be preserved include the approximate 6.3 acres of wetlands located along the northeast and southeast portions of the property and an additional approximate 3.9 acres of upland located east and southeast of the wetland areas. In addition to the walking trails described above, the applicant is also proposing to construct a picnic/pavilion building between the two wetland areas. Finally, the applicant has also indicated that mature trees and natural areas present around the perimeter of the property will be preserved to serve as a natural buffer and to provide visual screening.
- Storm Water Management - Storm water runoff associated with the project will be collected and conveyed to a series of settling basins and/or treatment cells located throughout the development with discharge to the natural wetland areas. Additional information concerning the design of the storm water system, along with any necessary permits/approvals from the Michigan Department of Environmental Quality will be submitted with the final (site) plan.
- Vehicular Access/Private Streets – Access to the development will be provided through a single, boulevard access drive from West Osterhout Avenue driveway, generally situated opposite the Schrier Park service drive located on the north side of West Osterhout Avenue. A network of curbed private streets will be provided within the interior of the development with a minimum pavement width of 24-feet (28-feet wide back-of-curb to back-of-curb). The pavement width with rolled curbs will be sufficient to permit parking on one side of the street in accordance with the Fire Code. All interior private streets will be owned and maintained by the condominium association.
- Building Setbacks – A minimum 40-foot building setback will be maintained around the perimeter of the property. Additionally, and to provide a peripheral transition area to future phases of the Stateland Park subdivision to the west, the applicant has agreed to only construct single family

detached condominium units along the western portion of the planned development. Residential condominium buildings will maintain a minimum 24-foot separation and will be setback at least 25-feet from the interior private streets.

- Project Phasing – The applicant envisions that the overall development project (102 units on 39 acres, 2.6 units/acre) will be constructed in four phases spanning approximately 7-9 years with approximately 24-28 dwelling units construct each phase:

Phase 1:	24 units on 7.9 acres (3.0 units/acre)	2016-2018
Phase 2:	25 units on 6.3 acres (3.9 units/acre)	2018-2021
Phase 3:	25 units on 7.1 acres (3.5 units/acre)	2021-2023
Phase 4:	28 units on 17.6 acres (1.6 units/acre)	2023-2025

V. PUBLIC HEARING/COMMENTS:

The Planning Commission convened a public hearing to consider the PD rezoning and tentative plan/narrative during the May 5, 2016 meeting. Mr. Pat Flanagan of Ingersoll, Watson & McMachen (applicant's engineer) was present to support the rezoning application and explain the planned development project. Two citizens spoke regarding the proposed PD rezoning and development: Elmon Oliver (951 West Osterhout Avenue) and Mike Davidovich (322 West Osterhout Avenue). Mr. Oliver stated he had no objections to the development project and Mr. Davidovich had questions regarding construction traffic.

VI. FINAL ANALYSIS:

The final analysis has been prepared based on the Comprehensive Plan, traffic conditions, surrounding development patterns and general land use considerations. Issues to be analyzed include consistency with the Future Land Use Plan Map and Development Guidelines, suitability of the existing zoning classification and the impacts of the proposed zoning classification.

Comprehensive Plan

Prior to recommending a zoning amendment, a determination that the proposed change is consistent with the Comprehensive Plan is appropriate. In the case of a rezoning, consistency is evaluated based on the Future Land Use Plan Map and also the Development Guidelines.

Future Land Use Plan Map -- The Future Land Use Plan Map component of the Comprehensive Plan designates the subject property, along with the majority of the surrounding properties, as appropriate for Low Density Residential land use. The adjacent State-owned property to the south is designated as the Gourneck State Game Area, while the adjacent city-owned property to the north (Schrier Park) is designated for Park/Recreation land use. The Comprehensive Plan identifies the purpose of the Low Density Residential classification (1 to 4 units per acre) to establish areas for future low density, single family residential development, to protect existing established residential neighborhoods from the intrusion of incompatible land uses and to encourage new housing development to take advantage of available attractive natural features and other amenities. The Low Density Residential classification generally corresponds to the R-1B, R-1C, R-1D, R-1E and PD zoning districts. The proposed PD zoning

and single-family residential condominium development is consistent with the Future Land Use Map and Comprehensive Plan.

Development Guidelines -- The Development Guidelines are intended to be used by the Commission and staff when reviewing private development projects, infrastructure improvement programs (i.e. public expenditures on streets, sewers, water mains and others that influence the location, intensity and timing of development) and public programs that affect the physical environment. The guidelines also provide direction and underpinning for regulations that affect land use (e.g. zoning, subdivision, parking, landscaping and others), may suggest incentives to influence community development and preservation and may suggest adjustments to other policies which influence the use of land for consistency with community development and preservation objectives. The proposed PD zone and associated tentative plan/narrative is consistent with applicable Development Guidelines contained in the Comprehensive Plan (see attached).

Suitability of Existing R-1C Zone /Impacts of Proposed PD Zone

Both the existing R-1C zoning and the proposed PD zoning/tentative plan are consistent with the Comprehensive Plan/Future Land Use Map and suitable for the subject property. Traditional single family residential developments (subdivisions/plats) under the R-1C zoning district are required to provide a minimum lot size of 12,000 square feet (14,400 square feet for corner lots). This minimum lot size requirement generally results in a development density between 2-3 units/acre. Based on approximately 29 acres of usable land area available for development and the location of the wetland areas, the R-1C zone would yield approximately 78 single-family lots (2 units per acre). As proposed by the applicant, 102 dwelling units are planned if the property is rezoned to PD, planned development and tentative plan approved. The approximate 30% increase in the number of dwelling units under the PD district is primarily attributed to the proposed mixture of housing types (single-family attached, single-family detached and a limited number of duplexes) and more narrow, private streets (public streets require a 60-foot wide right-of-way) within a condominium form of development. While the PD ordinance establishes a maximum overall development density of 7 units/acre, the proposed PD rezoning and tentative plan/narrative proposes an overall development density of approximately 2.6 units/acre consistent with a low density residential development pattern in the vicinity.

Traffic Considerations

According to The ITE Trip Generation Manual, Eighth Edition, a single family residence will generate between 5-6 vehicle trips (10-12 vehicle trip ends) on an average weekday, 24-hour period. At full build-out, a total of 102 single family residences will generate between 510-612 vehicle trips on an average weekday, 24-hour period (1,020-1,224 vehicle trip ends). For Commission information, vehicle trip ends count each car that visits a site twice, once for entering and once for exiting. Anticipated traffic generation can be accommodated by the adjacent roadway network. In conjunction with this project, a left-turn lane in West Osterhout Avenue will be required and constructed by the developer.

Environmental Impacts

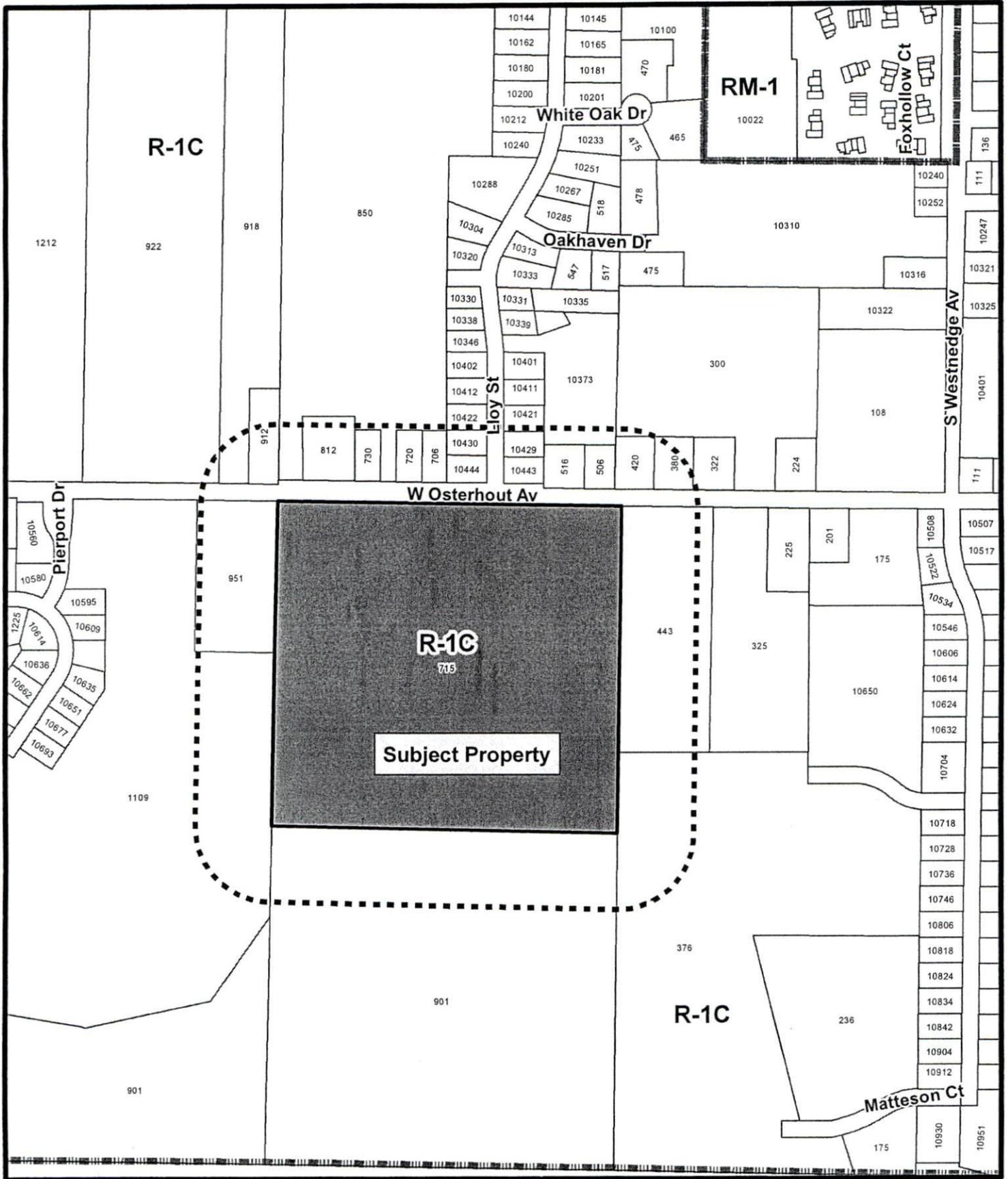
As indicated previously, approximately 6.3 acres located along the eastern portion of the subject property have been identified as regulated wetlands. The tentative plan does not identify any construction activities (homes, private streets, utilities) occurring within designated wetland areas. Additional review of regulated wetlands, including any proposed discharge of storm water from the development, will be considered with submittal of the final (site) plan for each phase of the project.

VII. RECOMMENDATION:

Subject to any additional comments that may be received during the public hearing, staff advises the Planning Commission to recommend to City Council that Rezoning Application #15/16-5 be approved and 715 West Osterhout Avenue be rezoned from R-1C, one family residential to PD planned development.

The PD district and proposed residential condominium development appropriate in this area of the City and will provide assurances to surrounding property owners on the specific type of development that will be built on the property while providing design flexibility to the developer. The PD district and associated tentative plan/narrative submitted by Landmark Development Properties, LLC is consistent with the Comprehensive Plan/Future Land Use Map designations and surrounding zoning/land use pattern along West Osterhout Avenue.

Attachments: Zoning/Vicinity Map
Future Land Use Map
Aerial Photo Map
Development Guidelines Table (PD)
Rezoning Application
Narrative and tentative plan layout revised April 27, 2016

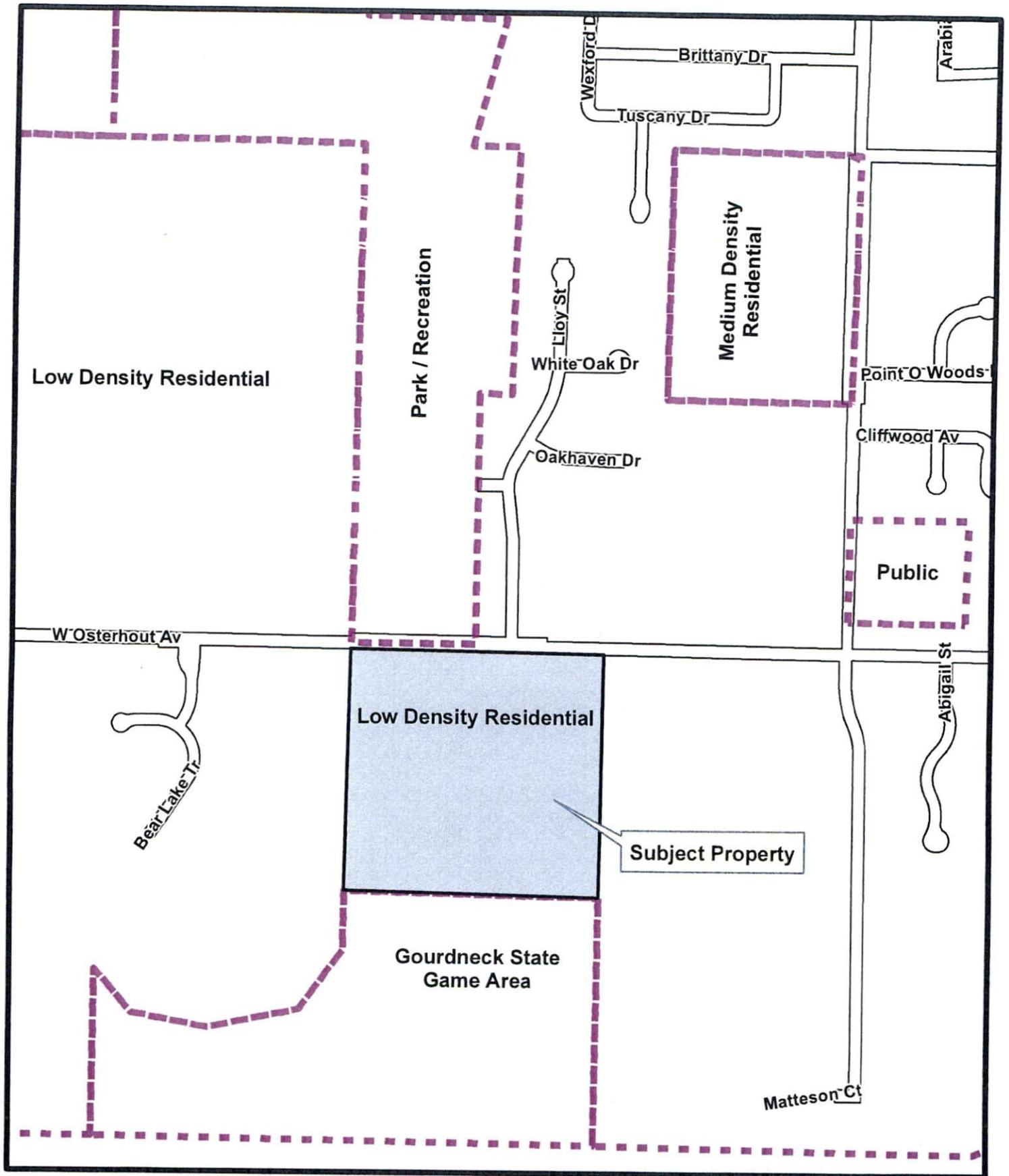


-  300' Notification For Subject Property
-  Subject Property
-  Zoning Boundary

Rezoning: 15/16 - 5
715 West Osterhout Avenue



1 inch = 500 feet



 715 Osterhout

Rezoning: 15/16 - 5
715 West Osterhout Avenue
Future Land Use



1 inch = 667 feet



Rezoning: 15/16 - 5
715 West Osterhout Avenue

 Subject Property



1 inch = 250 feet

DEVELOPMENT GUIDELINES

Rezoning Application #15/16-05

(Planned Development, PD)

Guideline	Description	Consistent	Comments
Rezoning – 1	Rezoning Request	Yes	Future Land Use Map designates rezoning site, along with the majority of the surrounding properties, as appropriate for low density residential land use. The proposed PD zone and associated tentative plan/narrative is consistent with this designation. The residential condominium project proposes a combination of single family detached and attached dwellings with an overall development density of approximately 2.6 units/acre.
Residential – 1	Protection of Residential Neighborhoods	Yes	The proposed single-family residential PD is consistent and compatible with the surrounding zoning and land use pattern: Non-residential land uses are not proposed with the PD.
Residential – 2	Residential Development along Arterial Roadway	Yes	The proposed single-family residential PD project will be situated along West Osterhout Avenue (minor arterial) with access provided from West Osterhout Avenue.
Residential – 3a	Locational Criteria for Residential Uses	Yes	Rezoning site has locational criteria consistent with the low density residential category (1-4 units/acre): Overall development density for single-family residential PD will be approximately 2.6 units/acre with access from a minor arterial roadway, municipal water/sanitary sewer and underground private utilities.
Residential – 4	Compatibility with Adjacent Land Use	Yes	The single-family residential PD and related development density is consistent and compatible with the surrounding low density residential zoning and land use pattern.
Residential – 5	Open Space and Natural Resource Protection	Yes	The single-family residential PD will preserve approximately 6.3 acres of wetlands located along the northeast and southeast portions of the property, and an additional approximate 3.9 acres of upland area located east and southeast of the wetland areas. Additionally, mature trees and natural areas present around the perimeter of the property will also be preserved to serve as an amenity to the development and also provide natural screening and buffering.
Residential – 6	Streets and Pedestrian Systems	Yes	Access will be provided from West Osterhout Avenue, a minor arterial street. Concrete sidewalks will be constructed on at least one side of the interior private streets. Additionally, a walking trail (wood chips/stone) will also be constructed on the upland portion of the property, between the east property line and wetland areas, which will also provide access to the Gourdneck State Game Area (to the south). Finally, a pedestrian connection is also planned along the west side of the site to connect with a future phase of the Stateland Park subdivision.

Guideline	Description	Consistent	Comments
Residential – 9	Residential Planned Unit Development	Yes	The PD project will create an attractive, high quality neighborhood of single-family detached and attached homes with private streets, sidewalks, trails and preservation of natural areas for the enjoyment of the residents. Each home will feature high quality construction, interior fire sprinklers and maintenance free materials and energy efficient features. Floor plans (two and three bedroom) will range from 1,550 – 1,950 square feet, exclusive of any basement area, and include a two-car attached garage. Most, if not all, homes will also have a front porch and either a deck, patio or 3-season porch attached to the rear of the dwelling. No nonresidential uses are proposed with the PD.
Natural & Historic Resources – 1	Environmental Protection	Yes	A wetlands assessment of the 39 acre property has identified approximately 6.3 acres of wetlands along the northeast and southeast portions of the site. These wetland areas, plus an additional approximate 3.9 acres of uplands located along the eastern portion of the property will be preserved as an amenity for the development. Additionally, mature trees and natural areas present around the perimeter of the property will also be preserved for the enjoyment of the residents.
Natural & Historic Resources – 2	Floodplain	N/A	The rezoning site is not encumbered by floodplain areas.
Natural & Historic Resources – 3	Water Quality	Yes	Storm water from the project will be collected and conveyed to a series of settling basins and/or treatment cells located throughout the development with discharge to natural wetland areas. Additional information regarding the design of these systems, along with any necessary permits/approvals from the Michigan Department of Environmental Quality will be submitted with the final (site) plan.
Natural & Historic Resources - 4	Noise	N/A	The rezoning site is not situated near excessive noise generators such as the Kalamazoo/Battle Creek International Airport or major freeway arteries.
Natural & Historic Resources - 5	Historic Resource Preservation	N/A	The subject site is not located within a historic district and does not contain any historic structures.
Natural & Historic Resources – 6	Open Space Preservation	Yes	See Residential – 5 and Natural & Historic Resources – 1 comments above
Transportation – 1	Transportation Systems	Yes	West Osterhout Avenue is a 2-lane minor arterial street with 4,436 vehicles per day (2012) and a capacity of 16,500 vehicles per day (level of service D). Anticipated traffic generation from the PD can be accommodated. In conjunction with the residential condominium project, a left-turn lane in West Osterhout Avenue will be constructed by the developer.
Transportation – 2	Street Design	Yes	Access to the development will be provided through a single, boulevard access drive from West Osterhout Avenue, generally situated opposite the Schrier Park service drive. A network of curbed private streets

			will be provided within the interior of the development. Final design will be further evaluated with the final/site plan submittal.
Transportation – 3	Access Management	Yes	See Transportation – 1 and Transportation – 2 above.
Transportation – 4	Non Motorized Travel	Yes	See Residential – 6 above.
Municipal Facilities & Services – 1	Sound Fiscal Growth	Yes	Existing and proposed public infrastructure is adequate to accommodate planned development.
Municipal Facilities & Services – 2	Sanitary Service	Yes	Sanitary sewer is available and will serve the planned development.
Municipal Facilities & Services – 3	Underground Utilities	Yes	Underground utilities will serve the planned development.

s:\commdev\2015-2016 department files\board files\planning commission\pc reports\development guideline tables\guideline table 15-16-05 (pd).doc

APPLICATION FOR ZONING AMENDMENT

Application number #15/16-4

Date 3-31-16

APPLICATION INFORMATION:

Meetings of the Portage Planning Commission are held on the first and third Thursday of each month at 7:00 p.m. in the Council Chambers of Portage City Hall, 7900 South Westnedge Avenue, Portage, Michigan. All zoning amendment applications must be properly filled out and submitted to the Department of Community Development and the zoning amendment fee paid at least 15 working days prior to the meeting at which the public hearing is held. The applicant will be notified in writing of all such public hearing/meetings.

For more detailed information about the zoning amendment process, please refer to Portage Land Development Regulations, Article 4, Division 2, Subdivision 2.

RECEIVED
MAR 31 2016
COMMUNITY DEVELOPMENT

TO THE PLANNING COMMISSION:

I (WE), the undersigned, do hereby respectfully make application and petition the Portage Planning Commission to amend the Zoning Ordinance and/or change the Zoning Map as hereinafter requested. In support of this application, the following is submitted:

ZONING MAP AMENDMENT

1. a. Platted Land: n/a

The property is part of the recorded plat: The property sought to be rezoned is located at _____ between _____ Street and _____ Street on the _____ side of the street, and is known as Lot Number(s) _____ of _____ Plat (Subdivision). It has a frontage of _____ feet and a depth of _____ feet.

b. Unplatted Land:

The property is in acreage, and is not therefore a part of a recorded plat. The property sought to be rezoned is located and described as follows: (Indicate total acreage and parcel number). #715 West Osterhout Ave. / Parcel # 00033-160-0
The northwest 1/4 of the Southeast 1/4 of Section 33, Town 3 South,
Range 11 West, City of Portage, Kalamazoo County, Michigan.
Area = 40.5 acres

2. a. Do you own the property to be rezoned? Yes _____ No **X (Have signed sales agreement)**

b. Name of the owner of the property to be rezoned: Nancy Prough (Estate Representative)

Address 9403 Lost Trail Delton, MI 49046

3. My (our) interest in the property and purpose for submitting the proposed Zoning Amendment: Landmark Development Partners has a signed sales agreement for subject property. Property is intended to be a Planned Development.

4. CURRENT ZONING: R-1C PROPOSED ZONING: PD

ZONING TEXT AMENDMENT n/a

1. The proposed language to be considered is (attach additional sheets as necessary):

2. The Zoning Code Chapter and Section wherein the proposed text would be modified/inserted.

3. My (our) interest in and purpose for submitting the proposed Zoning Ordinance Amendment.

We attach a statement hereto indicating why, in our opinion, the change requested is necessary for the preservation and enjoyment of substantial property rights, and why such amendment will advance the public health, safety and welfare. An assessment of the impact of the proposal on the community and property of other persons in the vicinity of the amendment or affected by the amendment is also attached.

 Aaron Hovestadt,
(Signature of Applicant) Landmark Development Partners, LLC
(Signature of Applicant)

5176 Queen Victoria Lane 5176 Queen Victoria Lane
(Address) (Address)
Kalamazoo, MI 49009

(269) 806-6823 (269) 806-6823
(Phone) (Phone)

A copy of all actions taken regarding this application shall be attached and shall be considered a part of this application.

MARCH 30 , 2016
(Revised April 27, 2016)

RECEIVED
APR 27 2016
COMMUNITY DEVELOPMENT

**NARRATIVE for PROPOSED
PLANNED UNIT DEVELOPMENT
on OSTERHOUT AVENUE
in THE CITY OF PORTAGE**

**DEVELOPER:
LANDMARK DEVELOPMENT PARTNERS, LLC
Attn: AARON HOVESTADT
5176 QUEEN VICTORIA LANE
KALAMAZOO, MI 49009**

INTRODUCTION:

This proposed Planned Development, or PD, is situated on the south side of Osterhout Avenue, approximately 3/8 mile west of South Westnedge Avenue in Section 33, City of Portage, Michigan. The subject property contains 39.0 acres (excluding Osterhout Avenue right-of-way) and measures one quarter mile east/west by one quarter mile north/south. The site is mostly wooded, and is surrounded by properties that are mostly wooded. Despite the property having a rural feel to it, it is located less than 10 minutes from many City of Portage businesses and other City amenities. Proposed on site are approximately 102 dwellings of high quality, energy efficient construction. Each dwelling will be served by a private road network. This PD is intended for families, couples, empty nesters, single professionals, and retirees. Also, a variety of floor plans shall be offered along with a mixture of housing types (single family detached, single family attached, and duplex dwellings).

PURPOSE & OBJECTIVES:

The objectives of this PD development are as follows:

- 1) To create an attractive, high quality neighborhood of single family homes for couples, families, and single individuals.
- 2) To eliminate many maintenance duties and responsibilities for homeowners such as mowing, weed control, raking of leaves, cleaning of gutters, snow shoveling, tree trimming, etc.
- 3) To provide a single family neighborhood with high quality, energy efficient homes, but at the same time eliminate much of the maintenance that comes with home ownership.
- 4) To create a neighborhood with typical densities, but at the same time provide permanent open space, walking trails, and on-site natural areas that can be enjoyed by the residents.

CONDOMINIUM / OWNERSHIP:

The PD will be developed as a condominium with the residents owning and maintaining the inside of the dwelling (the condominium "unit"). The condominium association will own and maintain everything exterior to each unit, including yard areas ("limited common areas") and streets / natural areas ("general common areas"). Exterior maintenance that will be provided by the Condominium Association will include the exterior of the dwellings, gutters, lawns, sidewalks, driveways, private streets, natural areas, etc. The yard area surrounding each dwelling be "limited common area" and will be for the use and enjoyment of that unit owner. The private streets, on site trails, sidewalks, and natural areas will be designated as "general common areas." These general common areas will be for the use and enjoyment of all residents.

THE SITE:

This PD is located on the south side of Osterhout Avenue in the Southeast quarter of Section 33. The property address is 715 West Osterhout Avenue. Situated east of the subject property are two large parcels, each with a home on it. South of the subject property is land owned by the State of Michigan. West of the subject property is a large parcel with a home on it, as well as some vacant land (future development area for the "Stateland Park" subdivision). North of the property, on the north side of Osterhout Avenue, are single family dwellings and Schrier Park. All adjoining properties, as well as the subject property, are currently zoned R-1C per the City's Zoning Map. Situated on the subject property is one single family home that will be removed prior to commencement of roadway and utility construction. The subject property is covered by mature trees and younger trees, with the mature trees being spread out. The site is unique with nice hardwoods and rolling terrain, and the intent is to preserve as many trees as possible. Within the southeasterly and easterly portions of the property is land that is significantly lower than the northwesterly portion of the property. A wetland assessment of the property has been completed and the conservative wetland boundary has been shown on the Tentative Plan. The Wetland Assessment report has been provided to the City for reference. The northerly and westerly portions of the property are relatively high. Along the entire north edge of the property is Osterhout Avenue, a City of Portage public street. Soils within the proposed building areas are Oshtemo Sandy Loam per the USDA's Soil Survey of Kalamazoo County.

PHASING:

It is anticipated that the development will be constructed in four phases, with each phase consisting of 24 to 28 dwellings. Construction of utilities, roadways, and dwellings for phase one is planned to commence during 2016 or 2017. Construction for each subsequent phase is anticipated to commence approximately every two years. The currently anticipated size, limits, and density of each phase has been shown on the submitted Tentative Plan. Phase one is anticipated to include 24 units on 7.9 acres. Phase two is anticipated to include 25 units on 6.3 acres. Phase three is anticipated to include 25 units on 7.1 acres. Phase four is anticipated to include 28 units on 17.6 acres. Please note that the proposed phasing could be altered based on utility routing, final design, City requirements, etc.

ON-SITE DWELLINGS:

The proposed dwellings within this PD will typically measure approximately 40 feet wide and 60 to 70 feet deep. Each dwelling will have between approximately 1550 square feet and 1950 square feet of living area (excluding any basement area), an attached two-car garage, and the dwellings will typically be single story with a basement. Note that the 1950 square foot dwellings may have a second story with two additional rooms. It is anticipated that four dwelling sizes will be offered (1550, 1650, 1800, and 1950 square feet). Most or all dwellings will have a front porch. Most dwellings will have a deck, patio, or 3-season room on the rear of the dwelling. A mixture of housing types will be included.

ON-SITE DWELLINGS: (cont.)

It is anticipated that approximately 66% of the on site units will be single family detached dwellings; that approximately 30% of the on site units will be single family attached dwellings; and that approximately 4% of the on site units will be duplex dwellings. Single family attached dwellings and duplexes shall comply with City requirements. All dwelling construction shall comply with City and State construction codes. Each home will feature quality construction, interior fire sprinklers (N.F.P.A. 13D compliant), maintenance free materials, and various energy efficient features. Preliminary Floor Plans and preliminary Front Building Elevations have been attached to this Narrative for general review. Final Building Plans will be prepared after the property has been rezoned to 'PD'. The units will be constructed to meet and exceed energy codes. Construction is expected to be framed with 2 by 6 exterior walls and 2 by 4 interior walls at 16 inches on center with engineered floor and truss roof system. Exteriors will be comprised of vinyl siding in a palette of approximately four colors (generally earth tones) in hues that compliment one another and blend in with the natural surroundings. Roofing materials will be dimensional architectural shingles that will be consistent throughout ("weathered wood" color). The front building elevations will include some element of stone or brick veneer along with vinyl shake and bead board accents. The look from the street will be a blend of craftsman, cottage, and New England styles. While the front elevations will be different, the look will have an intentional feel with design consistency among the various building fronts throughout the development. It is anticipated the dwelling prices will start in the \$210,000 range for smaller units. For the larger units with a finished walkout basement and other upgrades, dwelling costs will likely approach or exceed the \$350,000 range.

STREETS, SIDEWALKS, WALKING TRAILS, and DRIVEWAYS:

On site paved streets will be private and will incorporate concrete roll curb on each edge and will have a minimum pavement width of 24.0 feet (28.0 feet wide between back of concrete curbs). It is intended that the streets will be wide enough to allow parking on one side of the street per Fire Department requirements. All streets shall be designed and constructed in accordance with City requirements. Access to and from the site will be from one location and shall include one entry lane (24 feet wide) and two exit lanes (lane widths equal 12 feet) along with a landscaped boulevard. Street lights shall be included and will be spaced appropriately. Concrete sidewalks will be constructed on at least one side of each street, and walking trails shall be created within the undeveloped portions of the project. In addition, the walking trails shall be extended towards the westerly and southerly property lines. The on site walking trails and natural areas are intended to blend with the natural surroundings, as well as complement Schrier Park, the Eliason Preserve, and other nearby wooded areas. Individual driveways will be constructed of either concrete or pavement and will have a length of at least 25.0 feet as measured from the back of curb. The length of the driveways will allow temporary vehicle parking for one or two vehicles depending on driveway width. All streets, walks and driveways will be maintained by the Condominium Association.

STORM SEWER SYSTEM and DRAINAGE:

Crowned, paved roadways and concrete curb will direct storm water run-off to the proposed private storm sewer drains and pipes. The storm water run-off will be directed to a handful of storm water settling basins, treatment cells, or proprietary storm water treatment chambers in accordance with City requirements. From there the water will be directed to the on site lowland areas. Design of the system will be subject to City review and approval, as well as review and permitting through the State of Michigan MDEQ if required.

WATER MAINS, FIRE HYDRANTS, and SANITARY SEWERS:

Installed along all private roads will be City Portage public water mains and sanitary sewers, including house leads to each dwelling. Fire hydrants will be installed at locations approved by the City of Portage. These utilities shall be designed and installed in accordance with City requirements, and appropriate utility easements shall be granted to the City. Note that there is an existing 20 inch public water main on the northerly side of Osterhout Avenue, and an existing 8 inch public sanitary sewer near the center line of Osterhout Avenue.

PRIVATE UTILITIES:

The site will be served with underground natural gas, electric, telephone, and cable TV lines. It is anticipated that these underground lines will be situated on the side of the street opposite the public water main. There is an overhead power line within the northerly portion of the property (see Tentative Plan). We are currently working with Consumers Energy to relocate this power line underground or re-route it above ground. We are not proposing that this overhead power line be left in it's current location.

OPEN SPACE and NATURAL AREAS:

A significant portion of the property will be designated as a permanent natural area. This includes the far easterly and southeasterly portions of the property. Installed within these natural areas will be a 6-foot wide stone or wood chip walking trail. Mature trees will be preserved as much as possible, including those near proposed dwellings. The area of the subject property is 39.0 acres excluding the Osterhout Avenue right-of-way area. We currently estimate that approximately 6.3 acres of the property is wetland area, and that approximately 3.9 acres of the property (east and southeast of the wetland area) will remain as a permanent natural area. Final landscaping around each completed dwelling shall include one or more newly planted tree(s). Around the perimeter of the development, natural areas and trees will be preserved to serve as a natural buffer and visual screening.

ZONING, BUILDING SETBACKS, and DENSITY:

The property is currently zoned R-1C single family residential. Typical lot sizes within R-1C are 12,000 square feet and larger. City required building setbacks for R-1C are 30 feet (front yard), 12 feet (side yard), and 40 feet (rear yard). Typical densities for subdivisions within R-1C are 2 - 3 lots per acre. With this PD development, we are proposing a 40 foot perimeter setback (abutting adjoining properties), a minimum 24.0 feet between buildings, and a minimum distance of 25.0 feet between the back of the concrete curb and the front of the dwelling. Note that any duplex buildings, if incorporated, would share a common building wall, and that any attached single family dwellings would be connected with an architectural wall. With this PD, the density will be approximately 2.6 dwellings per acre. Per the City's Ordinance, the maximum allowable density for a PD is 7 dwellings per acre.

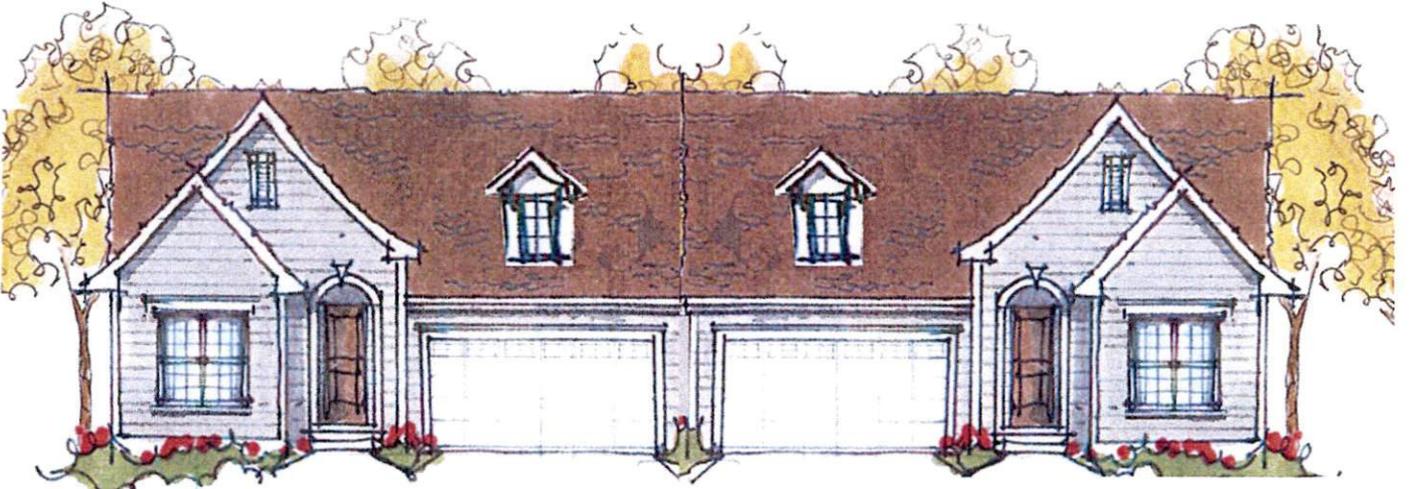
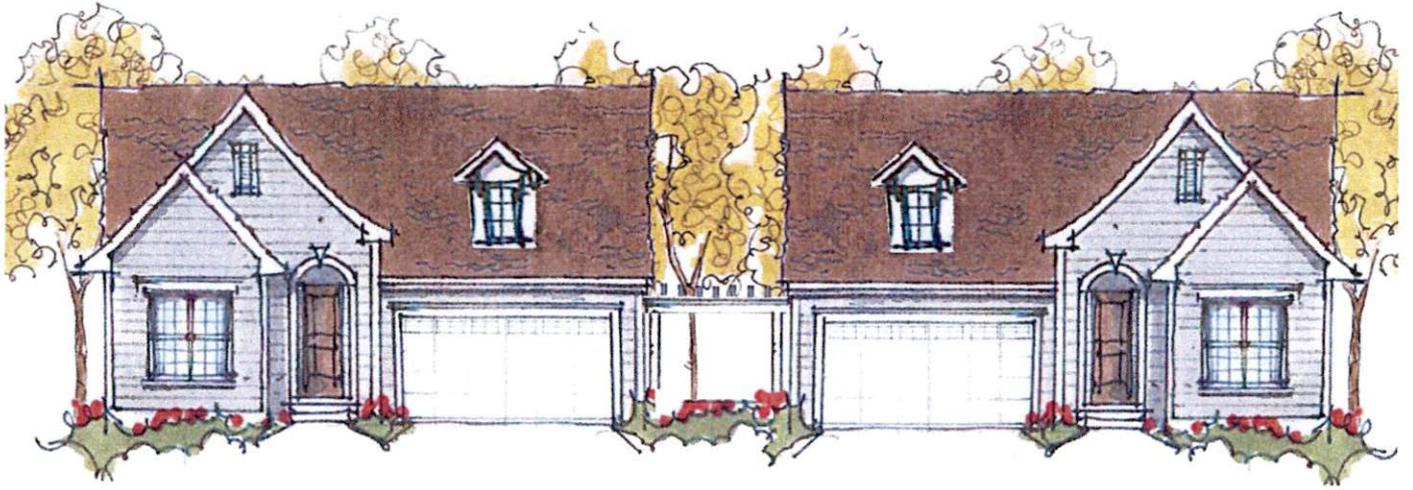
CONDOMINIUM MASTER DEED:

The typical "plat restrictions" or "deed restrictions" for a subdivision will be replaced with the Condominium Master Deed. The Master Deed shall also include survey plans, house plans, rules of ownership, mapping of general common areas, limited common areas, and unit areas, and other rules and regulations. Within the Master Deed, the streets and utilities for each phase will be designated as "need to be built," while each unit will be designated as "need not be built." The Master Deed will be prepared by a local real estate Attorney, and the Survey Plans within the Master Deed will be prepared by a local Land Surveying Office. The Master Deed will be subject to City review and comment prior to recording.



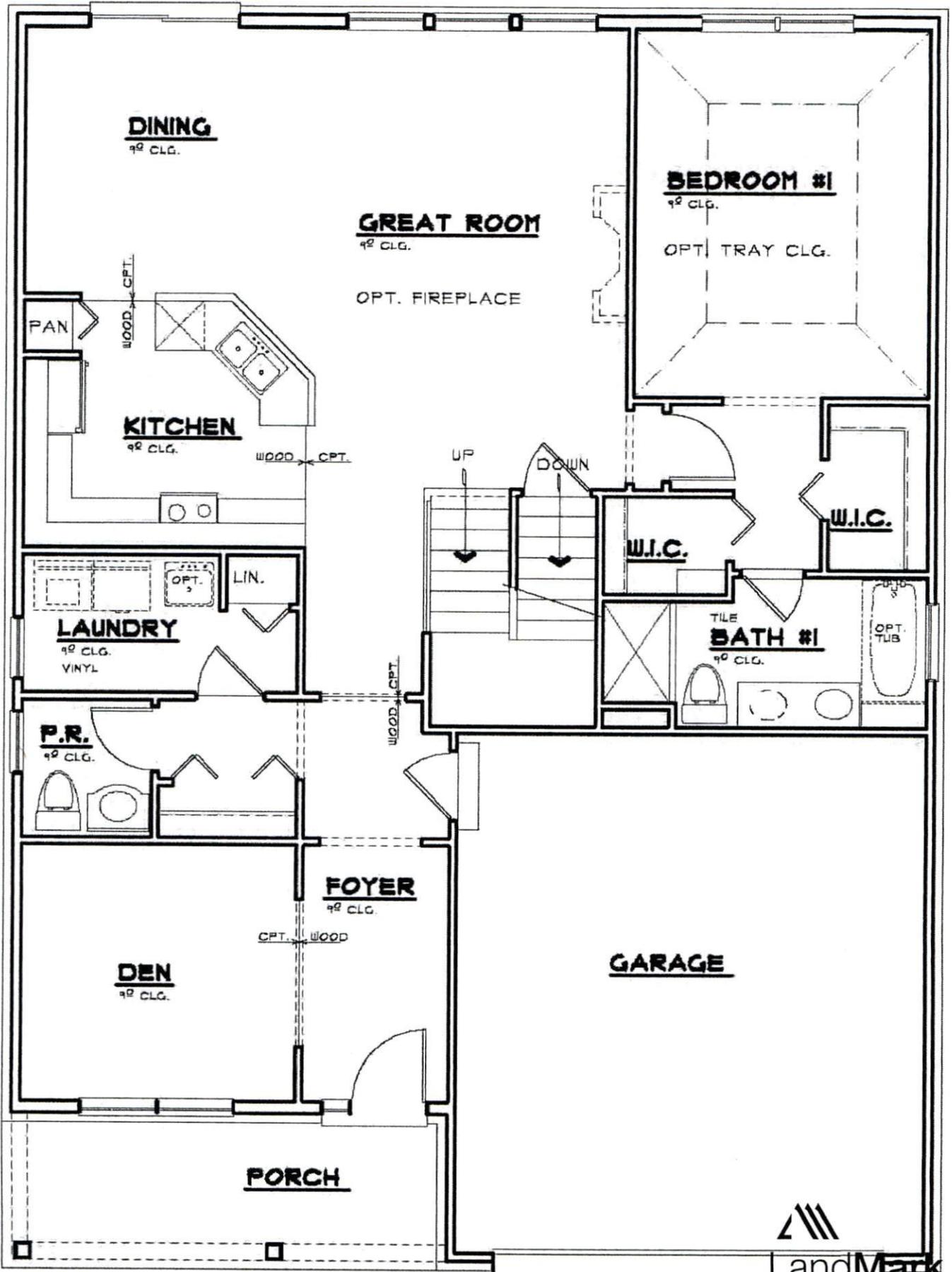


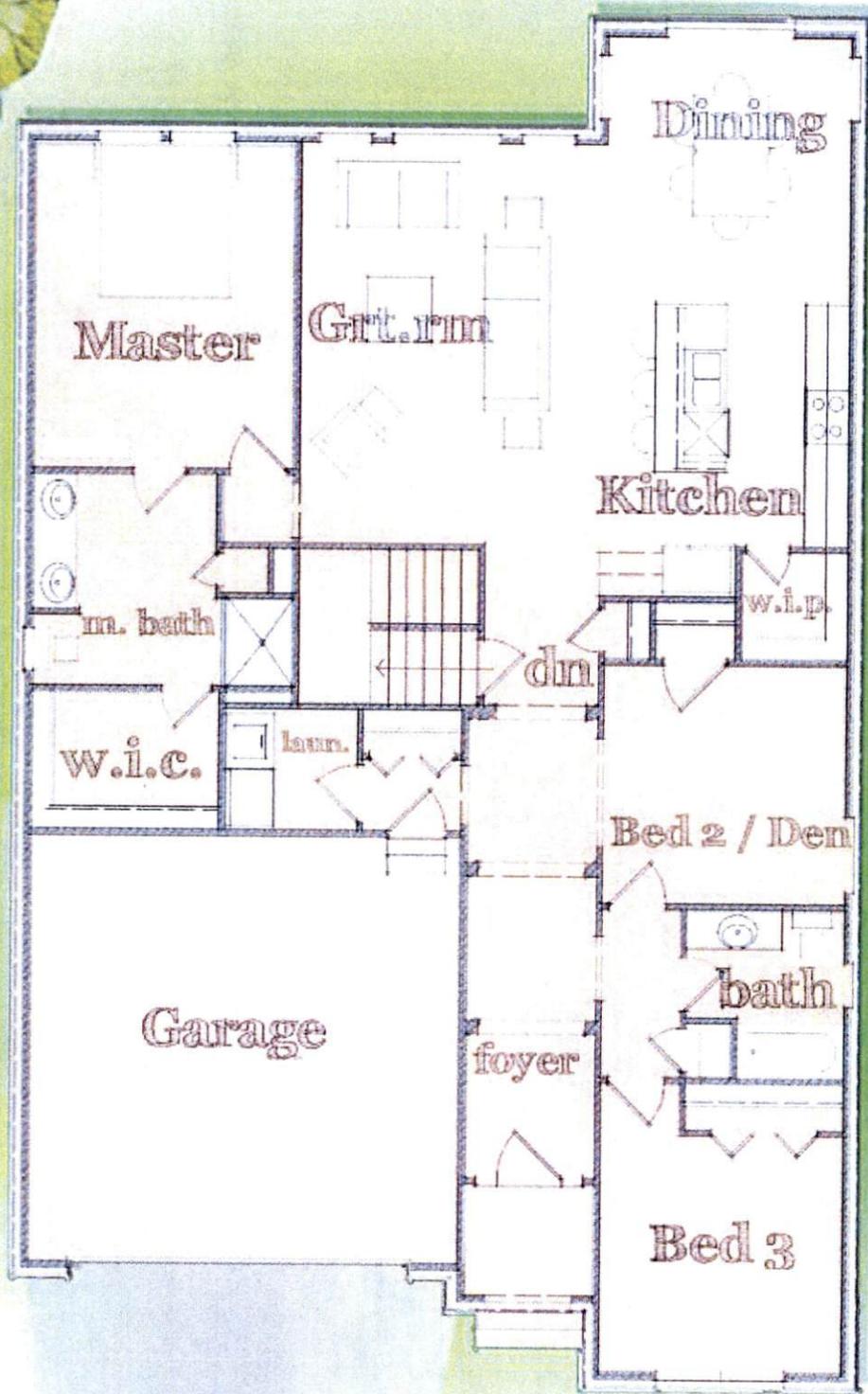
 LandMark

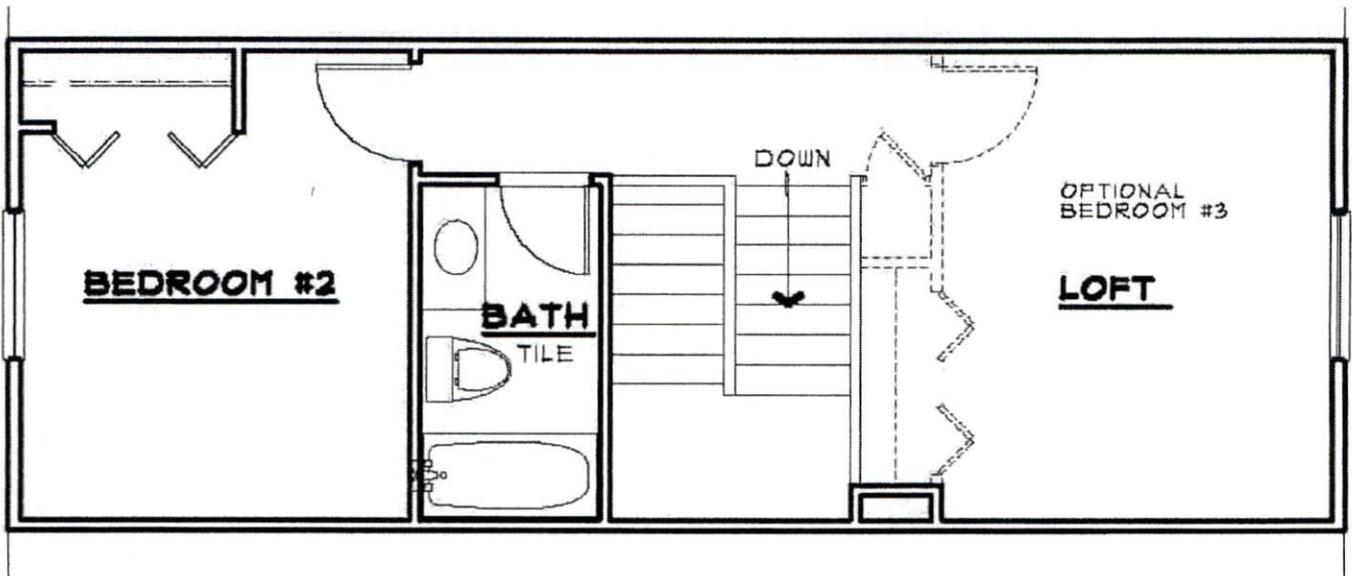




LandMark



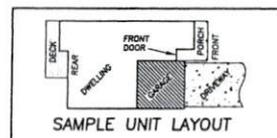




Optional 2nd Floor

TENTATIVE PLAN for PROPOSED CONDOMINIUM in PORTAGE, MICHIGAN

NOTE: A CENTER LEFT TURN LANE SHALL BE INSTALLED WITHIN OSTERHOUT AVENUE PER CITY OF PORTAGE REQUIREMENTS. (FOR ENTRY INTO SITE)



SAMPLE UNIT LAYOUT

- NOTES REGARDING UNITS:**
- 1) IT IS ANTICIPATED THAT 4 UNIT SIZES WILL BE OFFERED (4,150 SF, 4,150 SF, 4,150 SF, AND 1,200 SF EXCLUDING GARAGE AREA)
 - 2) UNITS WILL BE PRIMARILY SINGLE-STORY. UNITS WILL TYPICALLY HAVE A BALCONY
 - 3) IT IS ANTICIPATED THAT APPROXIMATELY 50% OF THE UNITS WILL BE SINGLE FAMILY ATTACHED, THAT APPROXIMATELY 50% OF THE UNITS WILL BE SINGLE FAMILY DETACHED, AND THAT APPROXIMATELY 4% OF THE UNITS WILL BE DUPLEXES
 - 4) UNIT TYPES SHALL COMPLY WITH CITY REQUIREMENTS
 - 5) SINGLE FAMILY ATTACHED DWELLINGS SHALL COMPLY WITH CITY REQUIREMENTS
 - 6) PRELIMINARY BUILDING ELEVATIONS AND BUILDING INFORMATION SHALL BE PROVIDED TO THE CITY FOR GENERAL REVIEW

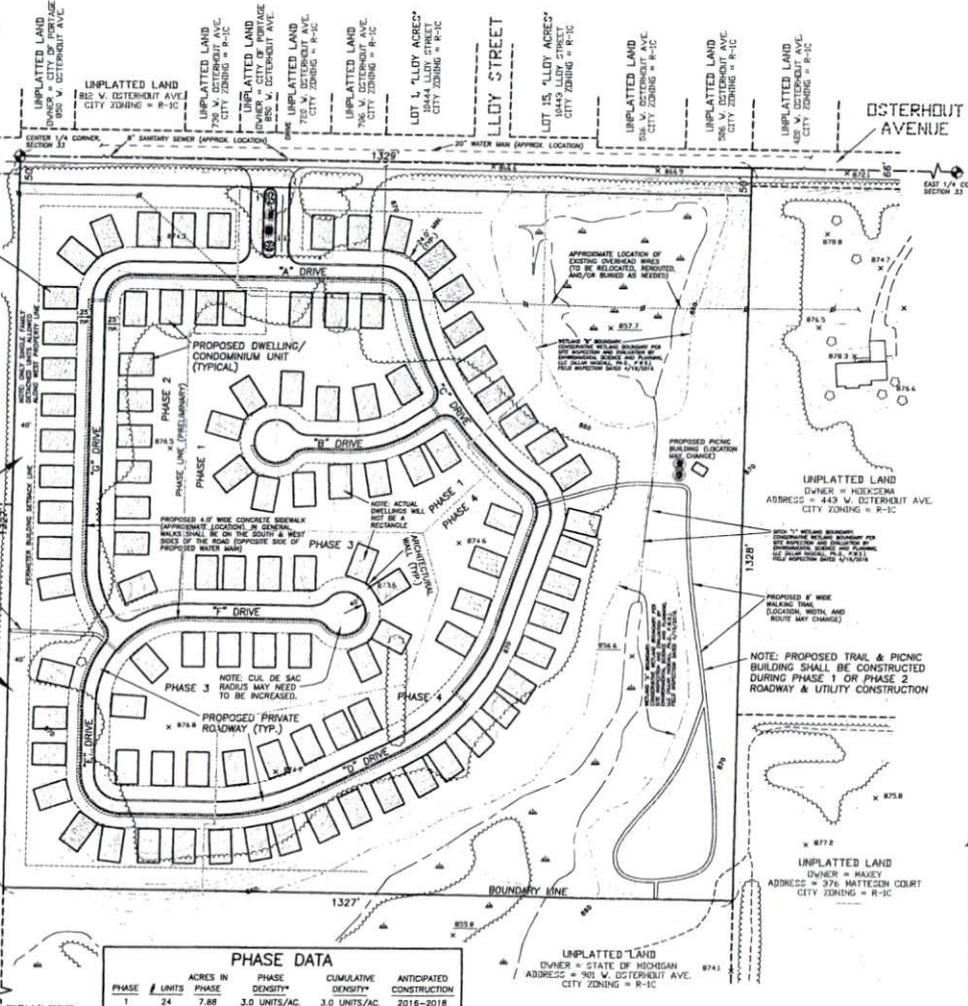
SUBJECT PROPERTY = 39.0 ACRES
 ADDRESS = 715 W. OSTERHOUT AVE.
 CURRENT ZONING = R-1C
 PROPOSED ZONING = PD

R-1C ZONING INFORMATION:
 (SUBJECT PROPERTY IS CURRENTLY ZONED R-1C)
 MINIMUM 1,000 S.F. LOT WITH 30' SIDE YARD SETBACK
 MINIMUM 12' SIDE YARD SETBACK
 MINIMUM 40' REAR YARD SETBACK
 MAXIMUM BUILDING COVERAGE OF LOT = 25%
 (ALSO SEE SEC. 42-511 & 42-553 OF CITY OF PORTAGE LAND DEVELOPMENT REGULATIONS)

PROPOSED SETBACK INFORMATION:
 MINIMUM DISTANCE BETWEEN BUILDINGS: 24.0'
 MINIMUM DISTANCE BETWEEN BACK OF CURB AND FRONT OF BUILDING: 25.0'
 MINIMUM FRONTIER REAR YARD SETBACK: 40.0'
 * ASSUMING REZONING TO "PD"

FIRE DEPT. NOTES
 COMBUSTIBLE BUILDING CONSTRUCTION SHALL NOT EXCEED UNITS PER ROADWAY AND DEPTH AND AN ALL WEATHER ROAD SURFACE IS IN PLACE.
 THE FIRE FLOW FOR EACH BUILDING IS 1000 GPM FROM ONE SIDEWAY WITH ONE OF ALL FLOORS OF THE BUILDING BEING FLOOR AREA OF ALL FLOORS INCLUDING BASEMENT FOR A BUILDING OF TYPE 1-B CONSTRUCTION. BASEMENT IS 100% COVERED 3000 SQUARE FEET. THE MINIMUM FIRE FLOW WILL BE BASED ON THE SIZE AND TYPE OF CONSTRUCTION FOR THAT BUILDING.
 FIRE APPROVAL ACCESS: 2000-20 TO 20-20 FEET WIDE SHALL BE PROVIDED ON ONE SIDE AS A FIRE LANE. (DOES NOT APPLY)
 THE APPROVED ACCESS SHALL BE 10 TO 20 FEET WIDE SHALL BE POSTED ON ONE SIDE AS A FIRE LANE.

AREA INFORMATION:
 AREA (EXCLUDING OSTERHOUT AVE) = 39.0 ACRES
 AREA OF CONSERVATIVE WETLAND = 4.6-5.5 ACRES
 UNDEVELOPED AREA EAST OF CONSERVATIVE WETLAND = 3.9-4.2 ACRES
 DEVELOPMENT AREA WEST OF CONSERVATIVE WETLAND = 4.2-4.7 ACRES



PHASE DATA				
PHASE	UNITS	PHASE IN PHASE DENSITY	CUMULATIVE DENSITY	ANTICIPATED CONSTRUCTION
1	24	7.88	3.0 UNITS/AC.	2016-2018
2	25	8.33	3.9 UNITS/AC.	2018-2021
3	25	7.14	3.5 UNITS/AC.	2021-2023
4	28	17.81	1.8 UNITS/AC.	2023-2025

NOTE: TYPE OF UNIT AND NUMBER OF EACH TYPE OF UNIT WITHIN EACH PHASE HAS NOT YET BEEN DETERMINED.
 *NOTE: OSTERHOUT AVENUE RIGHT-OF-WAY AREA HAS BEEN EXCLUDED.

PARCEL DESCRIPTION:
 A parcel of land situated in the Southeast quarter of Section 33, T. 3 S., R. 11 W., City of Portage, Kalamazoo County, Michigan being more particularly described as follows:
 The Northwest 1/4 of the Southeast 1/4 of Section 33, Town 3 South, Range 11 West.

- GENERAL NOTES:**
- 1) SUBJECT PROPERTY CONTAINS 39.0 ACRES AND IS CURRENTLY ZONED R-1C.
 - 2) SHOWN PROPERTY LINE LOCATIONS AND DIMENSIONS TAKEN FROM SURVEY WORK BY THIS OFFICE.
 - 3) SHOWN ELEVATION CONTOURS AND TOPOGRAPHIC INFORMATION TAKEN FROM TOPOGRAPHIC MAP PREPARED BY OTHERS.
 - 4) EXISTING 8 INCH PUBLIC SANITARY SEWER IS LOCATED ON THE APPROXIMATE CENTER LINE OF WEST OSTERHOUT AVENUE.
 - 5) EXISTING 20 INCH PUBLIC WATER MAIN IS LOCATED ON THE NORTH SIDE OF WEST OSTERHOUT AVENUE.
 - 6) SITE SHALL BE SERVED BY PROPOSED PUBLIC WATER MAINS AND SANITARY SEWERS.
 - 7) ALL PROPOSED ROADWAYS SHALL HAVE A MINIMUM WIDTH OF 26.0 FEET BETWEEN BACKS OF CURBS AND SHALL BE PRIVATE. PROPOSED CURBING SHALL BE ROLL CURBS. ALL STREETS SHALL BE PAVED AND SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - 8) 4 FOOT WIDE CONCRETE SIDEWALKS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL PROPOSED STREETS.
 - 9) STREET NAMES ARE PENDING.
 - 10) SITE IS PRIMARILY WOODED.
 - 11) PROPOSED STORM SEWER SYSTEM SHALL BE PRIVATE. STORM WATER RUN-OFF SHALL BE TREATED BEFORE DRAINING INTO ON SITE LOWLAND AREAS. STORM WATER TREATMENT SHALL COMPLY WITH CITY REQUIREMENTS AND SHALL INCLUDE SETTLING BASINS, TREATMENT CELLS, AND/OR PROPRIETARY STORM WATER TREATMENT DEVICES. LOCATIONS OF STORM SEWER PIPE, CATCH BASINS AND STORM WATER TREATMENT HAS NOT BEEN DETERMINED AND HAS NOT BEEN SHOWN HEREON.
 - 12) SHOWN ARE 12.0 DWELLINGS. SHOWN LAYOUT IS SUBJECT TO FINAL ADJUSTMENT.
 - 13) SHOWN DWELLINGS ARE 40.0' WIDE BY 82.0' DEEP. ACTUAL DWELLINGS MAY INCLUDE A DECK OR THREE-SEASON ROOM AND MAY BE DEEPER THAN 82.0'.
 - 14) BUILDINGS WILL BE PRIMARILY SINGLE STORY DWELLINGS AND MAY INCLUDE A BASEMENT. DWELLINGS SHALL HAVE A MAXIMUM HEIGHT OF 35'.
 - 15) DEVELOPMENT SHALL BE CONSTRUCTED IN SEVERAL PHASES. SHOWN PHASING SUBJECT TO FINAL ADJUSTMENT.
 - 16) STREET LIGHTS, STREET SIGNS, TRAFFIC CONTROL, AND LANDSCAPING SHALL BE PROVIDED.
 - 17) EACH ON SITE DWELLING WILL HAVE INTERIOR SPRINKLERS (NFPA 130 COMPLIANT) TO REDUCE FIRE ASSOCIATED RISKS.
 - 18) ALL ON SITE DWELLING CONSTRUCTION SHALL COMPLY WITH CITY OF PORTAGE AND STATE OF MICHIGAN CONSTRUCTION CODES (INCLUDING FOOTING DESIGN NEAR GROUNDWATER SITUATIONS IF APPLICABLE).
 - 19) EXISTING PAVED SURFACE FOR OSTERHOUT AVENUE SHALL NOT BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY OF PORTAGE. UTILITIES MAY NEED TO BE BORED UNDER THE EXISTING ROADWAY SURFACE.
 - 20) THE MAXIMUM NUMBER OF DWELLINGS ON SITE (PER FINAL PLAN) SHALL BE 104.

SITE DATA:
 SITE AREA = 39.0 ACRES
 # OF SHOWN DWELLINGS = 102
 NET DENSITY = 102 DWELLINGS/39.0 ACRES = 2.61 DWELLINGS PER ACRE
 CONDOMINIUM UNIT AREA = INTERIOR OF DWELLINGS
 GENERAL COMMON AREA = ROADWAYS, NATURAL AREAS, AND NON YARD AREAS
 LIMITED COMMON AREAS = YARD AREAS AROUND EACH DWELLING

APPLICANT:
LANDMARK DEVELOPMENT PARTNERS, INC.
 5176 QUEEN VICTORIA LANE
 KALAMAZOO, MI 49009
 (269) 806-6823

TENTATIVE PLAN
PROPOSED CONDOMINIUM
 NW 1/4 OF THE SE 1/4 OF SEC. 33, T. 3 S., R. 11 W., CITY OF PORTAGE, MICHIGAN
 INGERSOLL, WATSON & MCMACHEN, INC.
 CONSULTING CIVIL, DECISIONS AND LAND SURVEYORS
 1133 East Wilson Road - Portage, Michigan 49002 - Phone 269 344-0165 - Fax 269 344-0055

DATE: 3/28/2016
 SHEET: 1
 JOB NO.: 36505



TO: Planning Commission **DATE:** May 13, 2016
FROM: Vicki Georgeau, Director of Community Development
SUBJECT: Special Land Use Permit/Height Modification: Dockerty Memory Care, 710 and 732 East Centre Avenue

I. INTRODUCTION:

An application has been submitted by Dockerty Memory Care requesting a Special Land Use Permit to allow construction of an approximate 32,000 square foot memory care facility and associated site improvements at 710 and 732 East Centre Avenue. Additionally, Dockerty Memory Care is also requesting a Height Modification approval to construct three small portions of the memory care building to a height of 28-feet, where a maximum 25-foot building height standard is established when adjacent to single family residential zoning/land use. The approximate 2.4 acre subject property is zoned OS-1, office service with the exception of the west 5-feet of 710 East Centre Avenue (adjacent Lakewood Drive) which is zoned R-1A, one family residential.

As information for the Commission, the Zoning Board of Appeals (ZBA) on March 28, 2016 granted variances to allow the approximate 32,000 square foot memory care building to be situated within 12-feet of the east property line and within 25-feet of the south property line, where a 30-foot setback is required. A copy of the March 28, 2016 ZBA meeting minutes is attached.

II. BACKGROUND INFORMATION:

The following background information is provided for Commission consideration:

Existing Land Use/Zoning	<p><u>Subject Site:</u> Vacant land formerly occupied by the Centre Street Market. The approximate 2.4 acre site is zoned B-1, local business with the exception of the west 5-feet of 710 East Centre Avenue which is zoned R-1A, one family residential.</p> <p><u>East:</u> Otis Montessori Academy preschool and child care facility (810 East Centre Avenue) zoned B-1, local business.</p> <p><u>West/South:</u> Single family residences zoned R-1A, one family residential.</p> <p><u>North (across East Centre Avenue):</u> Nonconforming single family residences zoned OS-1, office service.</p>
Access	Two existing full service driveway from East Centre Avenue will be closed and a new, single full service driveway will be constructed to serve the memory care facility.
Public Street	East Centre Avenue is designated a 5-lane major arterial roadway with 20,233 vehicles per day (2011) and a capacity of 37,100 vehicles per day (level of service "D").
Historic District/Structures	The subject site is not located within a historic district and does not contain any historic structures.
Environmental	Wetlands, floodplains or other environmental sensitive areas are not present at the subject property.
Public Utilities	Municipal water and sewer are available.

Land Development Regulations	<ul style="list-style-type: none">• The <i>Special Land Use</i> permit application has been submitted under Section 42-242.A.5, “<i>Institutional Uses: Facilities for human care such as sanatoriums and rest and convalescent homes.</i>” Section 42-462, <i>General Standards for Review of Special Land Uses</i> is also applicable and sets forth the criteria for evaluating a special land use and allows conditions to be established.• The Height Modification application has been submitted under Section 42-350.B(6)(c), “<i>In all other districts, the height of any structure shall be no greater than 25 feet and one story when the zoning lot abuts a single-family residential zoning district, except, after a public hearing, which may be held prior to site plan approval, the height and number of stories of the structure may be increased to the height normally allowed in the zoning district if the planning commission determines that the topography, natural features or other land use characteristics, including the distance of the proposed structure from the residential district and residential structures therein, adequately mitigate adverse impacts upon any adjacent single-family residential zone or use.</i>”
------------------------------	---

III. ANALYSIS:

The proposal to establish the memory care facility at the subject property fulfills the requirements for issuance of a Special Land Use Permit. The subject site has at least one property line abutting a major or collector thoroughfare (East Centre Avenue) and ingress and egress to and from the site will be provided directly from East Centre Avenue. As stated previously, the ZBA granted variances on March 28, 2016 allowing the memory care building to be setback within 12-feet of the east property line and within 25-feet of the south property line. The parking area will be setback at least 15-feet from any adjacent residential district boundary. Finally, and since the zoning lot abuts single family residential zoning/land use to the east and south, conflicting land use screening and landscaping will be provided.

Additional details associated with the building project including storm water management, conflicting land use screening/landscaping details, outdoor lighting and other site improvements will be reviewed and discussed as part of the formal site plan consideration.

As identified in a April 12, 2016 correspondence from Alex Phelan of Hurley & Stewart (see attached), only three small portions of the building will exceed the 25-foot building height standard. These areas include two dining halls which will have higher, vaulted ceilings and a resulting building height of approximately 28-feet (midpoint between the eave and peak). As illustrated on the attached drawings, these areas involve approximately 3% of the overall 32,000 square foot building, with the remaining 97% of the building being situated at or below the 25-foot building height standard. These three areas are located within the northwest and southwest portions of the Phase I building, and within the northwest portion of the Phase II building. These taller building sections will be situated approximately 70-feet, 55-feet and 35-feet from the east property line with the closest portion being approximately 90-feet from the nearest single-family residence located to the east, along the east side of Lakewood Drive. Additionally, the taller building section located within the northwest portion of the Phase II building will be situated approximately 90-feet from the southern property line and approximately 140-feet from the nearest single-family residence located to the south, along the north side of Pasma Avenue. According to the applicant, the memory care facility will be architecturally designed to maintain a “home-like environment in a community setting” that will “work in harmony with the surrounding neighborhood”.

In addition to mature trees that are present along the shared property line of the memory care facility and the adjacent single family residences, conflicting land use screening will also be installed along the east and south sides of the subject property. Conflicting land use screening will consist of a 6-foot tall decorative vinyl fence, 10-foot wide greenstrip area and deciduous tree plantings every 30-feet.

Per statutory requirements, residents/property owners within 300 feet of the zoning lot have been notified in writing of the special land use permit and height modification applications and Planning Commission meeting. A notice was also published in the local newspaper.

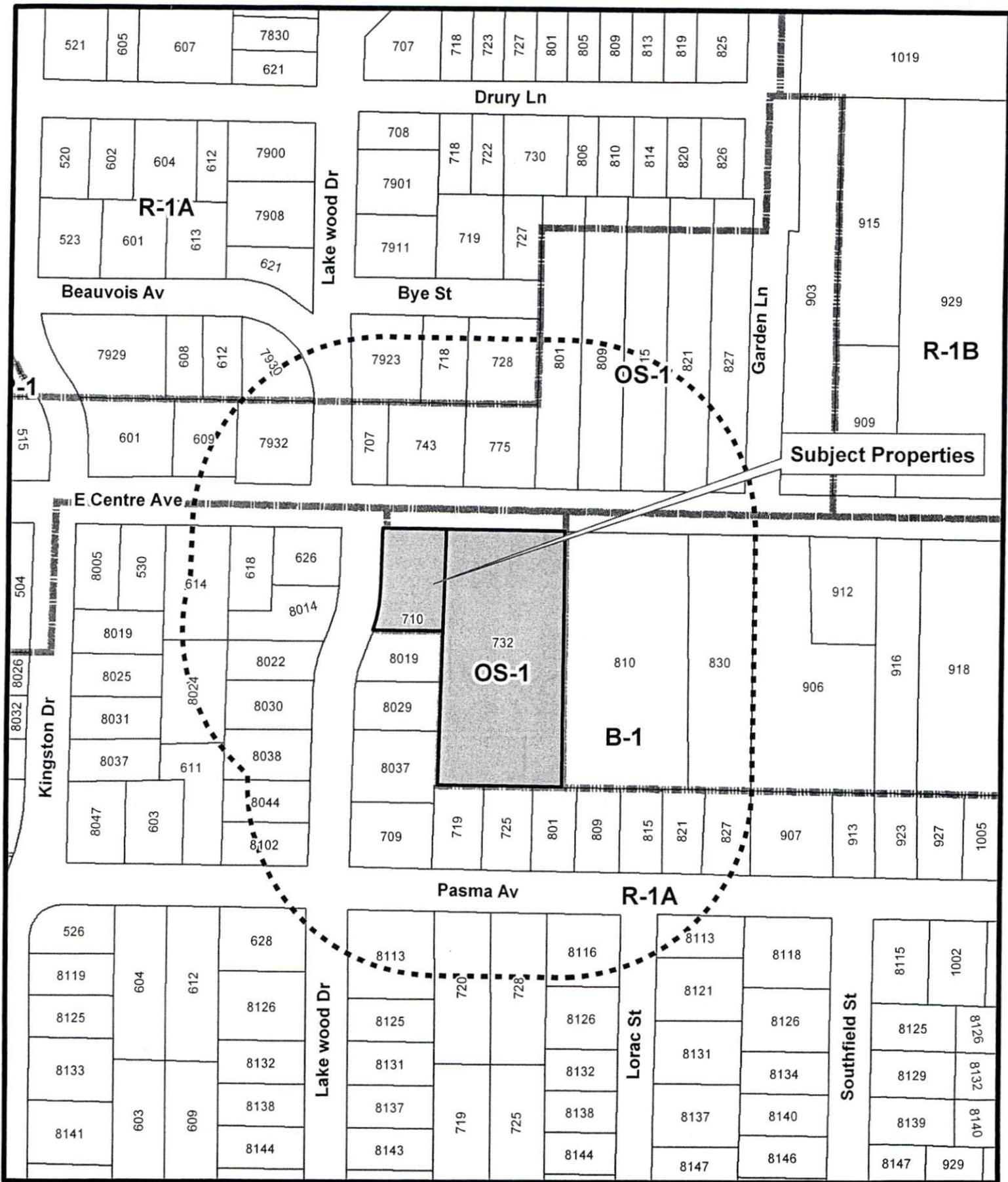
IV. RECOMMENDATION:

Based on the above analysis and subject to any additional information brought before the Planning Commission during the public hearing, staff recommends the Special Land Use Permit for Dockerty Memory Care, 710 and 732 East Centre Avenue, be approved.

Additionally, staff also recommends the Height Modification for Dockerty Memory Care, 710 and 732 East Centre Avenue, also be approved to allow construction of three portions of the building to a height of approximately 28-feet with a finding that the proposed building setback distances, existing mature trees and conflicting land use screening will adequately mitigate adverse impacts upon any adjacent single-family residential properties.

Attachments: Vicinity/Zoning Map
Aerial Photograph Map
March 28, 2016 Zoning Board of Appeals meeting minutes
Special Land Use Permit Application
Height Modification Request – April 12, 2016 Correspondence from Hurley & Stewart
Preliminary Site Plan and Building Elevation Sheets

S:\Commdev\2015-2016 Department Files\Board Files\Planning Commission\PC Reports\Special Land Use Permits\2016 05 13 Dockerty Memory Care, 710 and 732 East Centre (SLUP-Height Modification) doc



-  Zoning Boundary
-  Subject Property
-  Notification Area

Special Land Use Permit / Height Modification

710 & 732 East Centre Avenue



1 inch = 200 feet



 Subject Properties

Aerial Photo 710 & 732 East Centre Avenue



1 inch = 80 feet

Date of Photography: March 2013

the Bickford Cottage property is zoned B-2 and was done purposefully to preserve the building area on Mr. Busche's property, which eliminated the requirement for a 75-foot building setback.

Learned stated that although Mr. Busche had no objections earlier, perhaps he may not have known or understood he had an earlier opportunity to object to a 10-foot setback and maybe the Board should consider tabling the request to give both parties an opportunity to reach a compromise. Attorney Bear asked Mr. Reed to clarify what action he was requesting of the Board. Mr. Reed stated his client was asking for more time before the Board moves forward with the request. Bright inquired when the next meeting was scheduled. Mais responded April 11, 2016, but encouraged the Board to move forward with the request tonight and consider whether a side yard setback variance is warranted. Mr. Busche stated he was confused by what was going on and wanted the item tabled to give him more time to understand the issues. Seyburn inquired if the applicant thought there was information being withheld. Mr. Busche said he did not know, but thought the situation was strange. Learned inquired if a postponement to the April 11th meeting would adversely affect the applicant. Mr. Crandall said no, but anything affecting their certificate of occupancy would be a hardship. Schau inquired if staff could issue a certificate of occupancy given the pending nature of the case. Mais stated a permanent certificate of occupancy could not be issued without zoning compliance. Mr. Crandall stated he did not see their position changing even if the Board tables the matter and asked the Board to move forward with the request tonight. The public hearing was closed.

A motion was made by Seyburn, seconded by Learned to postpone the item until the April 11, 2016 meeting. Upon roll call vote: Philipp-Yes, Robbe-No, Seyburn-Yes, Bright-Yes, Learned-Yes, Schau-No, Schaefer-Yes. The motion passed 5-2.

ZBA #15-18; Dockerty Memory Care, 710 & 732 East Centre Avenue: Mais summarized the requested variances to allow construction of an approximate 31,900 square foot 42-bed memory care facility to a) within 12-feet of the east property line (side yard) where a 30-foot setback is required, and b) within 25-feet of the south property line (rear yard) where a 30-foot setback is required. Tim Dockerty stated in May of 2015 he submitted a conceptual plan for a memory care facility that showed a 10-foot setback. Staff advised that a zoning change from B-1 to OS-1 would be needed and he subsequently requested the property be rezoned to OS-1 in November 2015. It was not, however, until last month when it was discovered a 30 foot setback is needed for a special land use. Robbe inquired what the maximum permitted height and number of stories a building could be in an OS-1 zone. West replied 25 feet and one story.

A public hearing was opened. Gary Crankshaw, 810 East Centre Avenue and Kate Dunckel, 719 Pasma spoke in support of the request. The public hearing was closed.

A motion was made by Learned, seconded by Schau, to approve variances to allow construction of an approximate 31,900 square foot 42-bed memory care facility to a) within 12-feet of the east property line (side yard) where a 30-foot setback is required, and b) within 25-feet of the south property line (rear yard) where a 30-foot setback is required for the following reasons: there are exceptional or extraordinary circumstances or conditions applying to the property that do not apply generally to other properties in the same zoning district which include the unusual shape of the zoning lot and the surrounding zoning/land use pattern; the variance is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district in the vicinity; the right to develop a property with setbacks similar to other uses in the district; the immediate practical difficulty causing the need for the variance request was not created by the applicant; and the variance would not materially impair the intent and purpose of the zoning ordinance. In addition, the application and supporting material, staff report, and all comments, discussion and materials presented at this hearing be incorporated in the record of this hearing and the findings of the Board, and action of the Board be final and effective immediately. Upon roll call vote: Philipp-Yes, Learned-Yes, Seyburn-Abstained, Bright-Yes, Robbe-No, Schau-Yes, Schaefer-Yes, Byrnes-Yes. The motion passed 6-1-1.

RECEIVED
FEB 18 2016

APPLICANT INFORMATION

Name Timothy Dockerty		Telephone Number 269.465.7600	
Address 8850 Red Arrow Hwy	City Bridgman	State MI	Zip code 49085

OWNER INFORMATION (if different)

Name		Telephone Number	
Address	City	State	Zip code

PROPERTY INFORMATION

Address of property 732. 710 E. Centre St.	Zoning District OS1	Land Area (acres) 2.386
---	------------------------	----------------------------

1. Description of attached separate page:
See Site Plans

PROPOSED USE

Description of proposed Special Land Use (attach additional page(s), if necessary)

The proposed project consists of a two phase, approximately 32,000 sft memory care facility. The development will consist of new building construction, parking lot improvements, storm water retention basin, site lighting, and site landscaping.

OWNER CERTIFICATION

I hereby certify that I am presently the legal owner for the above-described property and all of the above information is true and accurate. I further acknowledge that approval of this Special Land Use Permit constitutes an agreement with the City of Portage and all conditions or limitations imposed shall be fulfilled.

Signature: Timothy Dockerty Date: 2/17/16



RECEIVED
APR 20 2016
COMMUNITY DEVELOPMENT

April 12, 2016

Portage City Hall
7900 South Westnedge Ave.
Portage, MI 49023

RE: Height Modification Request, Proposed Memory Care Facility

Dear Commission Members,

On behalf of the property owner, and developer of Woodland Terrace we hereby request a height modification. Woodland Terrace currently owns the property located at 732 E Centre St. (Parcel #000221500) & 710 E Centre St. (Parcel #046800160). According to the city's zoning ordinance the allowed building height when abutting single family residential shall not be greater than 25' except, after a public hearing, which if found appropriate, may be increased to the height normally allowed in the zoning district (35').

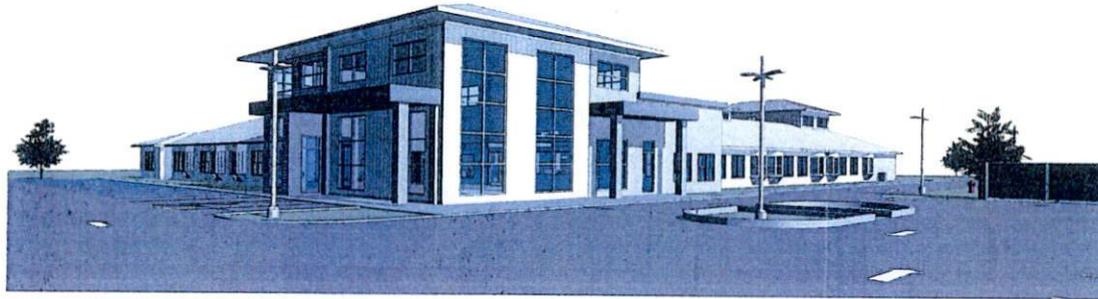
The proposed project consists of an approximately 32,000 sft single story memory care facility. The project will create a local facility that will provide a financially affordable, Christian service to seniors who deserve the highest degree of respect, dignity and quality of life. The campus will create local jobs and will have a positive economic impact on the neighborhood and surrounding area. The facility is architecturally designed with the idea of maintaining a home-like environment in a community setting which will greatly improve the existing lot, while working in harmony with the surrounding neighborhood. The current architectural design includes two dining halls with high, vaulted ceilings. The height of the two dining halls, measured from the ground, to the midpoint of the roof is 28' with an overall peak height of 32'.

Pursuant to Section 42-350(6)(c), we request you consider the natural features and the distance of the proposed structure from the residential district and residential structures. Please see the attached sketch. The surrounding residential lots are well established lots, with mature trees that will aid to screen the views above the allowed 25' height. In addition, we would like to point out that a new perimeter fence will be installed for additional screening. Finally, please note that the majority of the building volume is below the minimum requirements, while only 3.0% of the volume exceeds the 25'. We believe that with this demonstrates we adequately mitigate adverse impacts upon the adjacent single-family residential zone or use.

We would greatly appreciate your understanding and assistance in obtaining the height modification request. Thank you for your assistance on this project. Please let us know if any additional information is needed in order to process this request.

Sincerely,
HURLEY & STEWART, LLC.

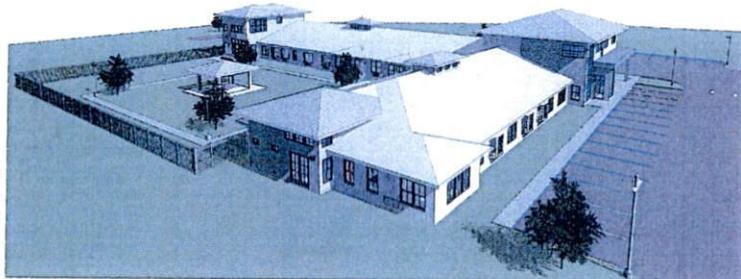
Alex Phelan, E.I.T.



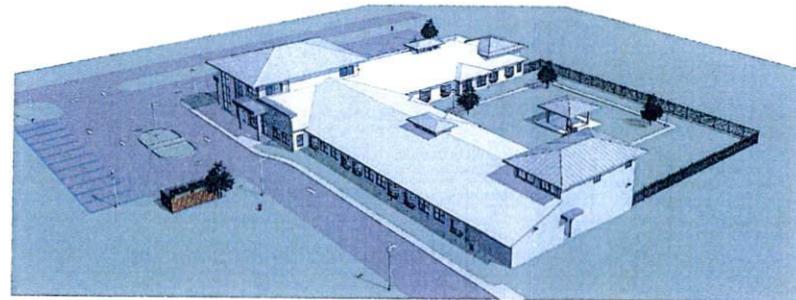
NORTH-WEST PERSPECTIVE



VICINITY MAP



NORTH-EAST BIRD'S EYE VIEW



SOUTH-WEST BIRD'S EYE VIEW

Dockerty Health - Portage Memory Care Facility

810 E. Centre Ave, Portage, MI 49002

ARCHITECT: BROOKS ARCHITECTURAL, INC.

5844 RED ARROW HIGHWAY - STEVENSVILLE, MICHIGAN 49127
 PHONE: (269) 429-7000 - FAX: (269) 429-7888 - EMAIL: info@brooksarch.com

© BROOKS ARCHITECTURAL INC. 2014 DATED: 5-11-2016

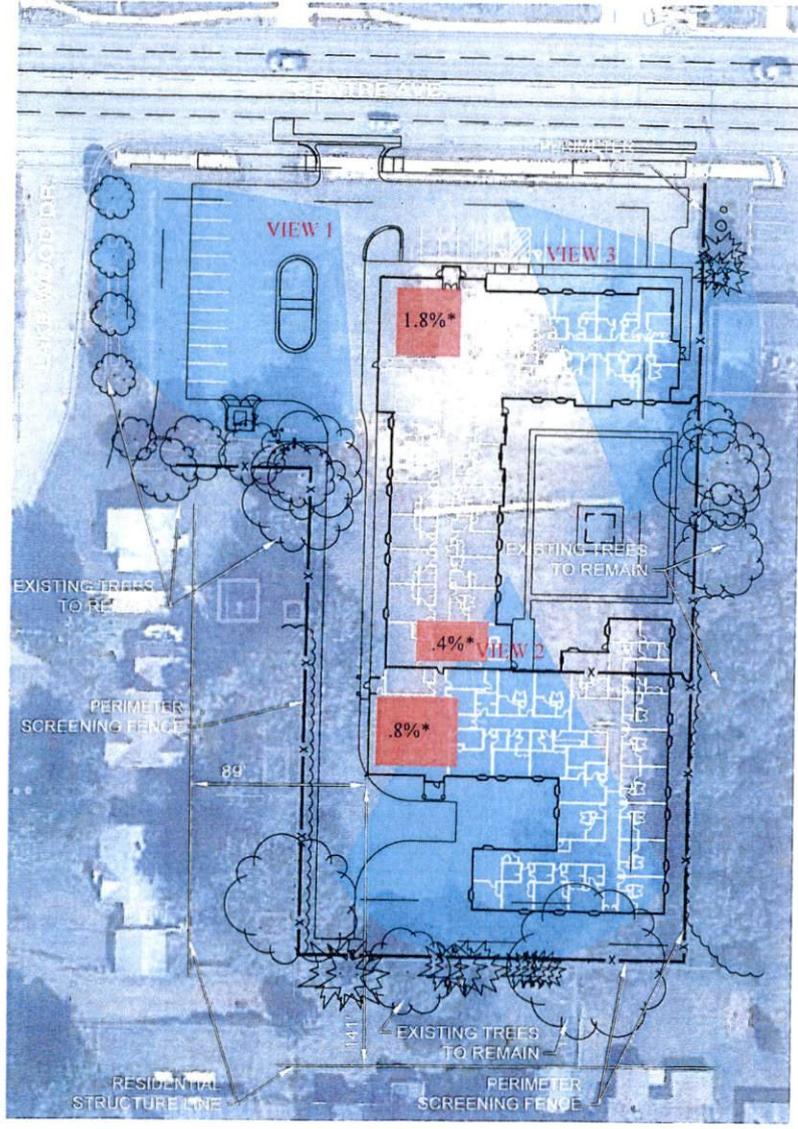
SHEET INDEX	
T-1	TITLE SHEET
D-1	DEVELOPMENT PLAN
A-1	PHASE I FLOOR PLAN
A-2	PHASE I - NORTH WING FLOOR PLAN
A-3	PHASE I - EAST WING FLOOR PLAN
A-4	PHASE I - OFFICES + SERVICES FLOOR PLAN
A-5	BUILDING ELEVATIONS
A-6	TYPICAL WINDOW FRAME DETAILS
A-7	SCHEDULES
D-1	OVERALL BUILDING FOUNDATION
S-2	ROOF PLAN & FINISHES
S-3	BUILDING SECTIONS - PHASE I
B-1	MECH LAYOUT
L-1	DEVELOPMENT PLAN
E-1	OVERALL POWER & LIGHTING PLAN - PHASE I
E-2	ELECTRICAL RISER DIAGRAMS AND PANELS
E-3	ELECTRICAL PANEL DIAGRAMS
P-1	OVERALL SANITARY PLAN
P-2	OVERALL WATER SUPPLY
FA-1	OVERALL FIRE ALARM PLAN

PROJECT NO.:
 15-008
 SHEET
T-1

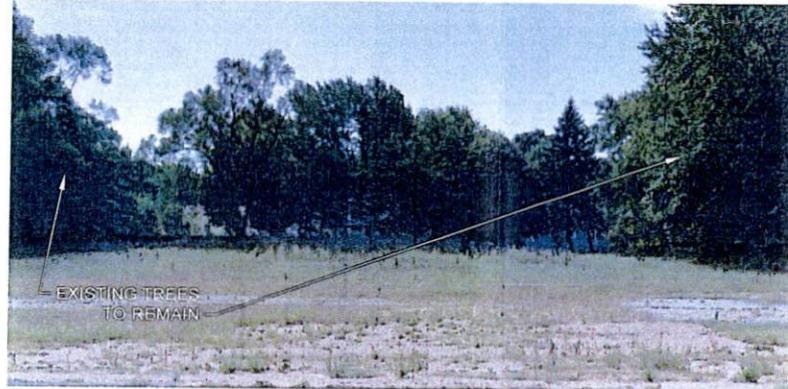
5/11/2016 10:58 AM
 C:\Projects\15-008\15-008-T-1.dwg
 15-008-T-1.dwg
 15-008-T-1.dwg

DRAWING LOCATION: \\Members\serv\Projects\15-018D (Dockerty Memory Care Layouts) - FINAL DRAWINGS\COLOR\Height_Variance_Sketch.dwg LAST SAVED BY: APHELAN ON: 2/22/2016

* PERCENTAGES COMPUTED BASED ON VOLUME ABOVE 25' / TOTAL BUILDING VOLUME



VIEW 1



VIEW 2



VIEW 3

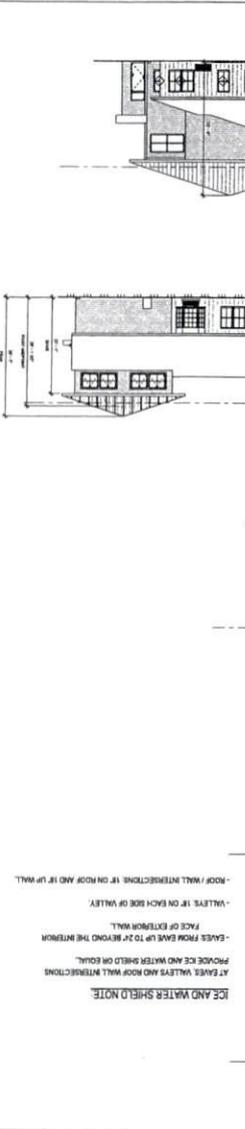
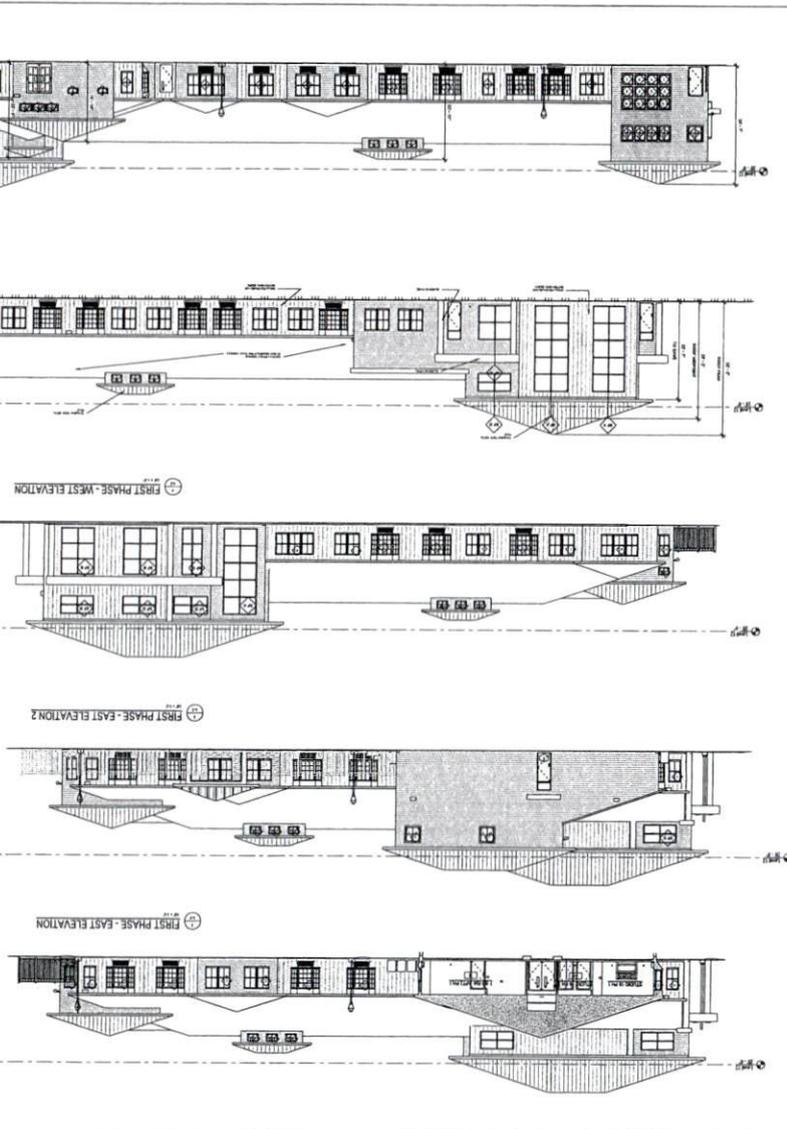
hurley & steward, llc
 2800 south 11th street
 kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com

Job No. 15-018D
 Date 02/19/15
 Scale 60
 P.M. TAS
 DR. APR
 QA/QC 02/19/15

Title **Height Modification Request**
 Project **Dockerty Memory Care**
 Client **Tim Dockerty**

Drawing No

1



STRUCTURAL NOTES

1. ROOF TRUSS DESIGN LOADS: 30 PSF GROUND SNOW LOAD, 15 PSF TOP CHORD DEAD LOAD, 15PSF BOTTOM CHORD DEAD LOAD, FOR A TOTAL LOAD OF 75 PSF. TRUSSES TO BE DESIGNED FOR A WIND LOAD OF 75 PSF.
2. FLOOR LOADS SHALL BE 40 PSF LIVE LOAD, 15 PSF DEAD LOAD FROM A TOTAL DESIGN LOAD OF 55 PSF.
3. PROVIDE A MINIMUM OF 12 ENERGY WALL ON ROOF TRUSSES.
4. PROVIDE ENGINEERED ROOF TRUSS BRACING, SEALED BY A STATE OF MICHIGAN LICENSED ENGINEER TO MATCH THE ARCHITECT AND BUILDING OFFICIAL FROM TO FABRICATION.
5. PROVIDE METAL TRUSS THE DOWN AT ROOF TRUSS TO WALL CONNECTIONS.
6. ADJUSTABLE STEEL PIPE COLUMNS TO BE 7" Ø SCHEDULE 40.

ELEVATION NOTES

FOUNDATIONS BELOW GRADE NOT SHOWN.

GOING TO BE WVA, AS SELECTED BY OWNER.

ROOF BRACING TO BE ARCHITECTURAL CLASS 'X'.

FACTORY TO BE ALUMINUM, COVERTS TO BE VENTED ALUMINUM.

DECK BOARDS TO BE 3/4" PRESSURE TREATED PINE.

RIDGE VENTS TO BE CORONA TYPE UNDER SHINGLE CAP.

FULL MODEL NUMBERS SHOWN AT WINDOW AND SLIDING DOOR LOCATIONS.

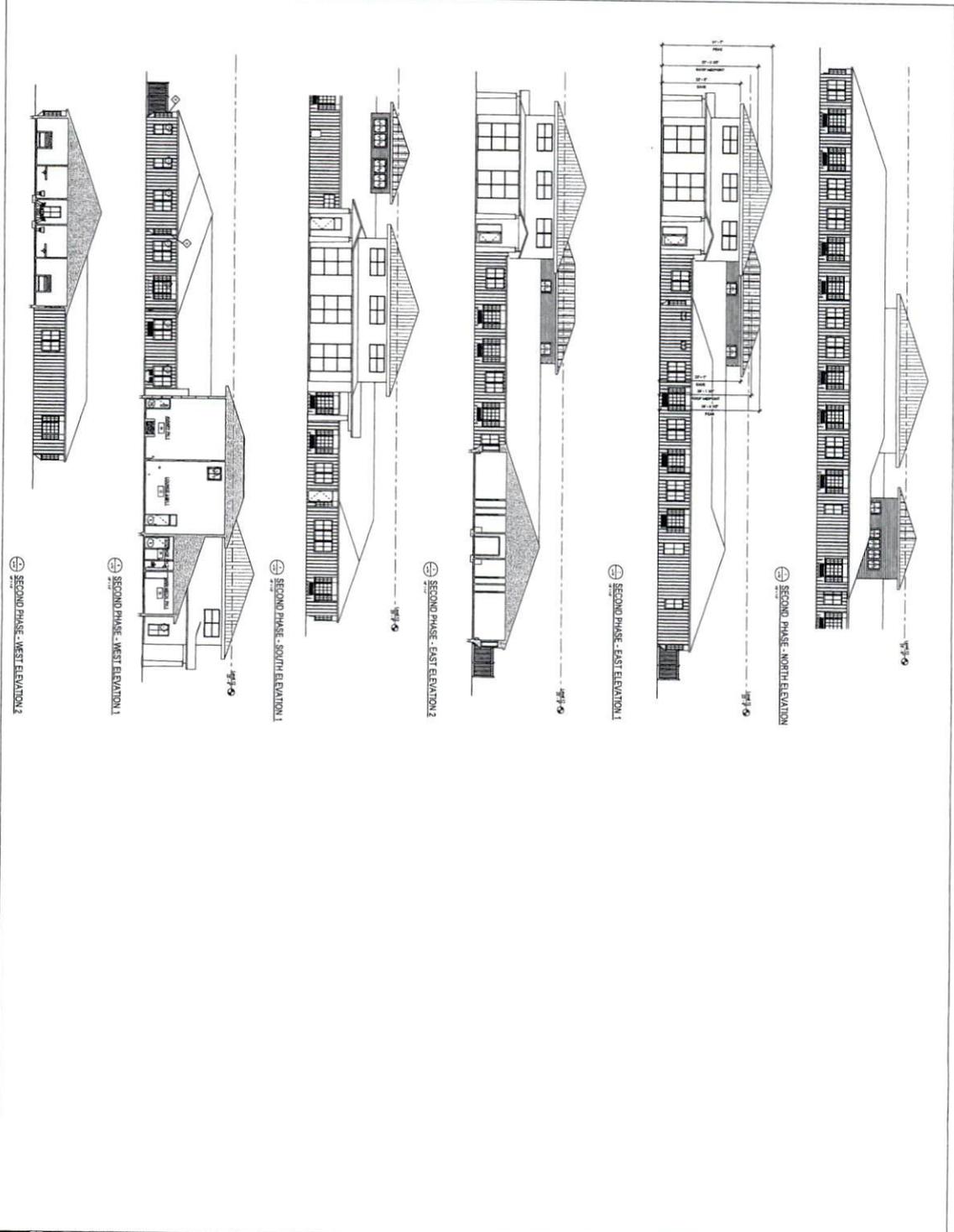
THERMALLY MODEL NUMBERS SHOWN AT EXTERIOR DOORS.

PROVIDE ICE AND WATER FLASHING, PROVIDE DOUBLE WIDTH OF ICE AND WATER SHIELD AT EAVES AND WALLETS.

BROOKS ARCHITECTURAL, Inc.
 10000 Old Orchard Road, Suite 100, Dallas, TX 75243
 Phone: (972) 412-1111 Fax: (972) 412-1112
 www.brooksarchitect.com

BUILDING ELEVATIONS
 10000 Old Orchard Road, Suite 100, Dallas, TX 75243
 Phone: (972) 412-1111 Fax: (972) 412-1112
 www.brooksarchitect.com

Dockerty Health - Portage Memory Care Facility





PORTAGE SENIOR CENTER

Detroit Tigers

VS

Kansas City Royals

Sunday, September 25, 2016

\$92/Members

\$102/Non-Members

Now is the time to pick up your Detroit Tigers VS Kansas City Royals tickets and enjoy a live game with other PSC travelers.

Your day will include roundtrip motorcoach transportation to and from Comerica Park as well as your game ticket.

****Please note that this trip does involve a lot of walking**



Walking Level 3

Escort: Trudy Riker & Art Roberts

Note: \$5 Early Bird discount until Fri. May 7th

If you have questions or would like to register, please contact:

PORTAGE SENIOR CENTER

Main Desk: (269) 329-4555

320 Library Lane Portage, MI 49002

Travel Office/Reservations:

(269) 324-9239

Hours for Trip Sign-Up: Tuesday and Friday, 9:30AM to 2:30PM

TO: Planning Commission

DATE: May 13, 2016

FROM: Vicki Georgeau,  Director of Community Development

SUBJECT: Site Plan for Dockerty Memory Care, 710 and 732 East Centre Avenue.

I. INTRODUCTION:

A site plan has been submitted by Dockerty Memory Care requesting approval to construct an approximate 32,000 square foot, 42-bed memory care facility and associated site improvements at 710 and 732 East Centre Avenue. According to the applicant, the building will be constructed in two phases with the northern approximate ½ of building and site related improvements (Phase I) planned for 2016-2017 and the southern approximate ½ of building (Phase II) planned for 2017-2018. The approximate 2.4 acre subject property is zoned OS-1, office service with the exception of the west 5-feet of 710 East Centre Avenue which is zoned R-1A, one family residential.

Consistent with the Zoning Board of Appeals (ZBA) variances granted on March 28, 2016, the proposed building will maintain a minimum 12-foot setback from the east property line and a 25-foot setback from the south property line. Storm water from the development project will be collected, conveyed and disposed through a series of underground perforated piping and two shallow retention basins located along the northeast and southern portions of the site. Access to the site will be provided through a single, full-service driveway from East Centre Avenue approximately centered on the property: The two existing driveways located along the eastern and western portions of the site will be closed. Since the site is bordered to the south and east by single-family residences, conflicting land use screening will be provided. Conflicting land use screening will consist of a 6-foot tall decorative vinyl screening fence, 10-foot greenstrip and deciduous tree plantings (minimum 2½ inch caliper) every 30-feet within the greenstrip areas. Finally, all outdoor lighting units (light poles and building mounted) will contain shielded fixtures and conform to applicable ordinance standards with resulting light levels not exceeding 0.3 footcandles along the eastern and western property lines.

II. RECOMMENDATION:

The site plan has been reviewed by the City Administrative departments. Staff recommends that the Site Plan for Dockerty Memory Care, 710 and 732 East Centre Avenue, be approved.

Attachment: Site Plan Sheets

CONSTRUCTION DOCUMENTS

Dockerty Memory Care

710, 732 Centre
Portage
Kalamazoo, MI
05/10/16

OWNER

TIMOTHY DOCKERTY
8850 RED ARROW HWY
BRIDGMAN, MI 49106
(269)465-7600

PLANS PREPARED BY:

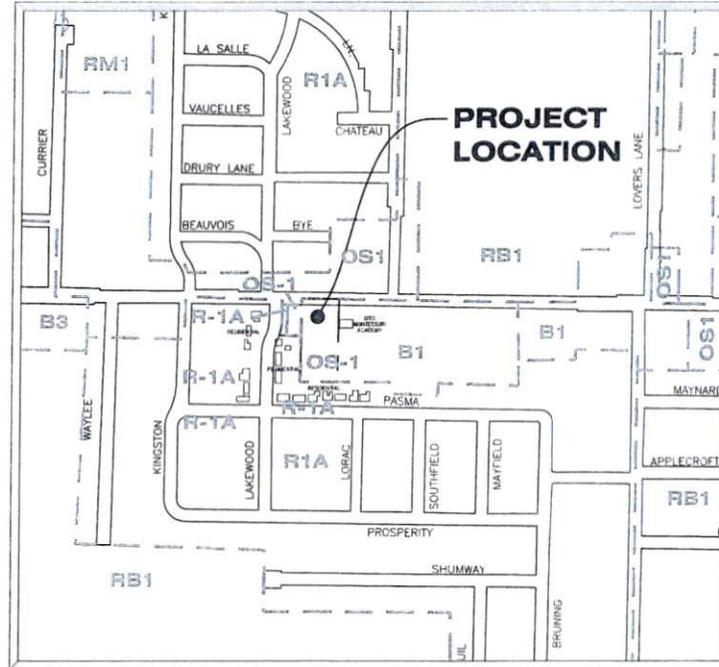


hurley & stewart, llc
2800 south 11th street
kalamazoo, michigan 49009
269.552.4960 fax 552.4961
www.hurleystewart.com



UTILITY CONTACTS:

CONSUMERS ENERGY CO. 2500 E. CORK STREET KALAMAZOO, MI 49001 269.337.2314	ELECTRIC/GAS
CHARTER COMMUNICATIONS 4176 COMMERCIAL AVE. PORTAGE, MI 49002 269.217.8152	CABLE TELEVISION
AT&T 2918 MILLCORK ST. KALAMAZOO, MI 49001 269.384.5991	TELEPHONE
CITY OF PORTAGE EARTHTECH 7719 S. WESTNEDGE AVENUE PORTAGE, MI 49024 269.324.9235	WATER/ SANITARY



SITE LOCATION MAP

SCALE: 1" = 300'



DRAWING INDEX

- | SHT # | DESCRIPTION |
|-------|--------------------------------|
| C-0 | TITLE SHEET |
| C-1 | EXISTING CONDITIONS/DEMOLITION |
| C-2 | SITE LAYOUT PLAN |
| C-3 | SITE GRADING PLAN |
| C-4 | SITE UTILITY PLAN |
| C-5 | DETAILS |
| C-6 | DETAILS |
| L-1 | LANDSCAPE PLAN |
| L-2 | LANDSCAPE DETAILS |
| L-3 | LIGHTING PLAN |
| I-1 | IRRIGATION PLAN |
| I-2 | IRRIGATION DETAILS |
| A-6 | BUILDING ELEVATIONS |

RECEIVED
MAY 11 2016
COMMUNITY DEVELOPMENT



EXISTING TOPOGRAPHY PROVIDED BY DON'T REDBURY & ASSOCIATES. ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

ISSUED FOR:
SITE PLAN RESUBMITTAL
05/10/16

1. PROVIDE CURB CUTS/RAMP AT ALL BARBER FREE ACCESS POINTS.
2. PAVENT MARKINGS AND TRAFFIC CONTROL DEVICES AND SIGNAGE BARBER FREE CODE.
3. SEE ARCHITECTURAL PLANS FOR MORE DETAILS ON TRUCK DOCK STAIRS, STAIRS, AND RAMP.
4. MATCH EXISTING CURB & UTTER SECTION WHEN CONNECTING TO TRUCK CONDITIONS VARY.
5. CHECK ALL WORKING DRAWINGS WITH THE URBAN DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION, AND CITY OF PORTAGE STANDARDS SPECIFICATIONS.
6. IF ANY ERRORS OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING APPLICABLE SO THAT CLARIFICATION OR REVISION MAY OCCUR.
7. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
8. ALL CONCRETE SHALL BE POURED IN PLACE IN (2) DAYS AS DIRECTED, LATESTING CONCRETE BEING FINISHED, CURING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. UNDERGROUND UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO STARTING WORK AND SHALL BE PROTECTED THROUGHOUT THE PROJECT.
9. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE (3) WORKING DAYS INCLUDING SATURDAY, SUNDAY AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION OR AREA WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THEN BE NOTIFIED. CHANGES WHO MAY NOT BE A PART OF THE "AS SHOWN" OR "AS BUILT" SYSTEMS. ANY BURIALS OR CONCRETE FOUND, SAVINRY BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING APPLICABLE SO THAT CLARIFICATION OR REVISION MAY OCCUR.
10. IF ANY ERRORS OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING APPLICABLE SO THAT CLARIFICATION OR REVISION MAY OCCUR.
11. IF ANY ERRORS OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING APPLICABLE SO THAT CLARIFICATION OR REVISION MAY OCCUR.
12. ALL LIGHTING SHALL COMPLY TO CITY OF PORTAGE STANDARDS.
13. RIGHT OF WAY PERMIT SHALL BE OBTAINED PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY AND ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CITY OF PORTAGE CONTRACT CONDITIONS AND SPECIFICATIONS.
14. DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD DETAIL 50-116.

NOTES

ZONING REQUIREMENTS

THE SITE IS ZONED TO OS-1, OFFICE SPACE.

PARKING INFORMATION

TOTAL PARKING SPACES REQUIRED: 1

FRONT - 27

REAR - 30*

* VARIANCE GRANTED 3/28/16

43 BAY(S) SPACE/2 BEDS = 21 SPACES

SPACE/2 BEDS

PROPOSED USE

TOTAL PARKING PROVIDED = 26 SPACES

BARBER FREE SPACES = 2 PROVIDED

ALL BARBER FREE SPACES DESIGNATED PER ADA REQUIREMENTS

TYPICAL PARKING SPACE DIMENSION = 8'x20'

BUILDING INFORMATION

THE PROPOSED BUILDING HAS A 2,164.5 +/- SQ. FT. FLOOR AREA.

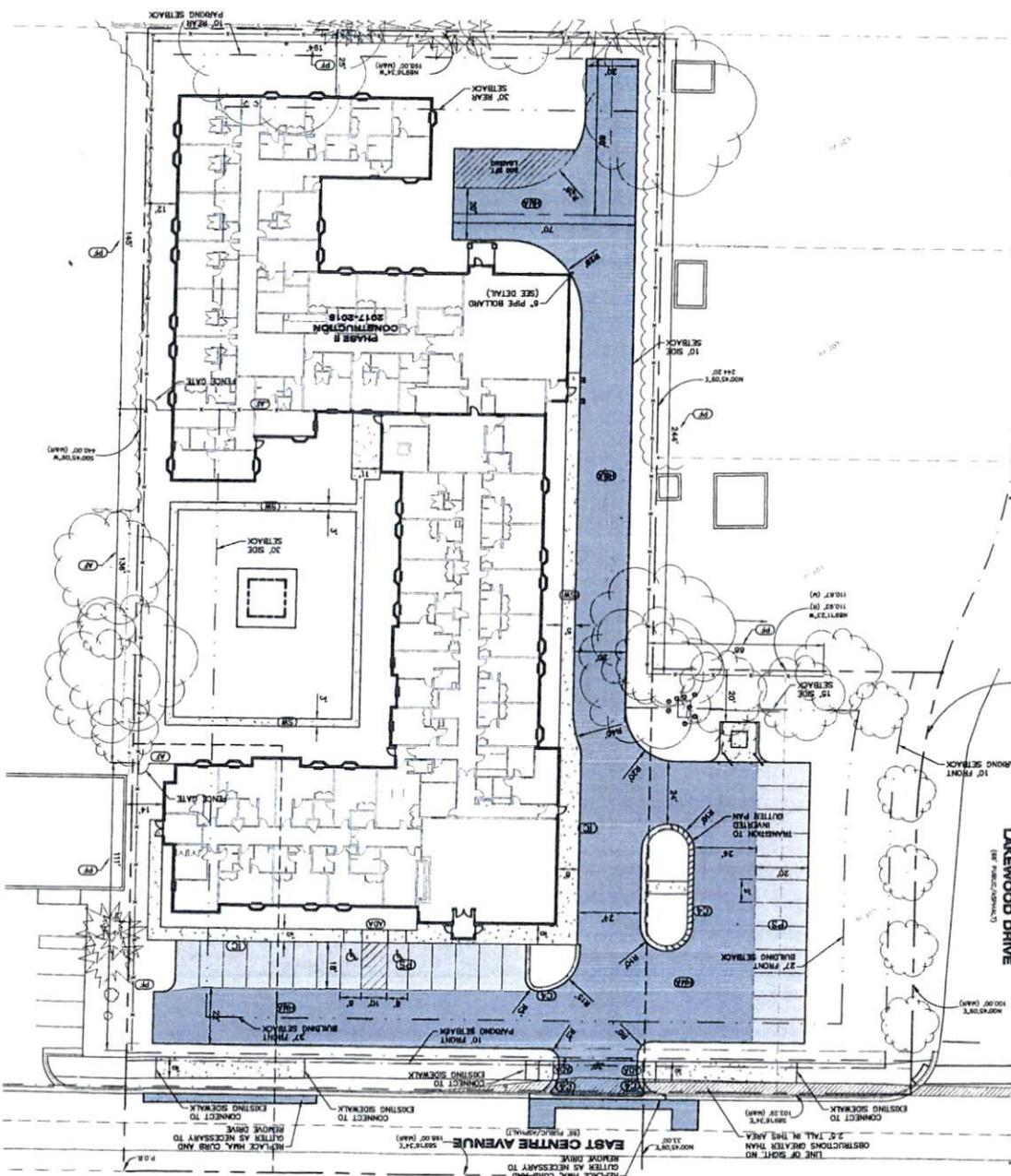
CONSTRUCTION TYPE: V

301 FIRST FLOOR

302 SECOND FLOOR

SITE LEGEND

(S)	HAZ LIGHT DUTY PAVEMENT
(H)	HAZ HEAVY DUTY PAVEMENT
(C)	CONCRETE SIDEWALK
(T)	TYPE WALKS
(P)	PARKING STRIPING
(R)	REAR FREEZING CURB
(A)	ADJUST EXISTING CASTING
(V)	VERTICAL CURB WALK
(G)	GENERAL CURB WALK
(S)	CONCRETE SIDEWALK
(P)	PARKING STRIPING
(R)	REAR FREEZING CURB
(A)	ADJUST EXISTING CASTING



811
Know what's below.
Call before you dig.

FIELD WORK PERFORMED BY:
LANDSCAPE PROFESSIONAL SURVEYORS
THE OFFICE OF BROWN AND ASSOCIATES' LOCATION
SHOULD BE USED AS A REFERENCE ONLY. THIS
DRAWING IS NOT TO BE USED FOR ANY OTHER
PURPOSES WITHOUT THE WRITTEN CONSENT OF
THE OFFICE OF BROWN AND ASSOCIATES.

Sheet: **C-2**
Date: 05/10/16

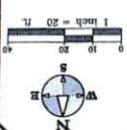
Sheet Title:
Project: **SITE LAYOUT PLAN**
Client: **DOCKERTY MEMORY CARE**
WOODLAWN TERRACE

Job No. 16-0000 - P.A. - Date: 04/26/16

1	SITE PLAN REVIEW	02/02/16
2	VALENTINE SIGNATURE	02/02/16
3	SITE PLAN REVIEW	04/27/16
4	SITE PLAN REVIEW	05/10/16

CONTRACTOR: **W. HUBERT & SONS, LLC**

Hubert & Sons
Hubert & Sons, Inc.
2800 South 11th Street
Kalamazoo, Michigan 49008
269.552.4900 Fax 269.552.4951
www.hubertandsons.com

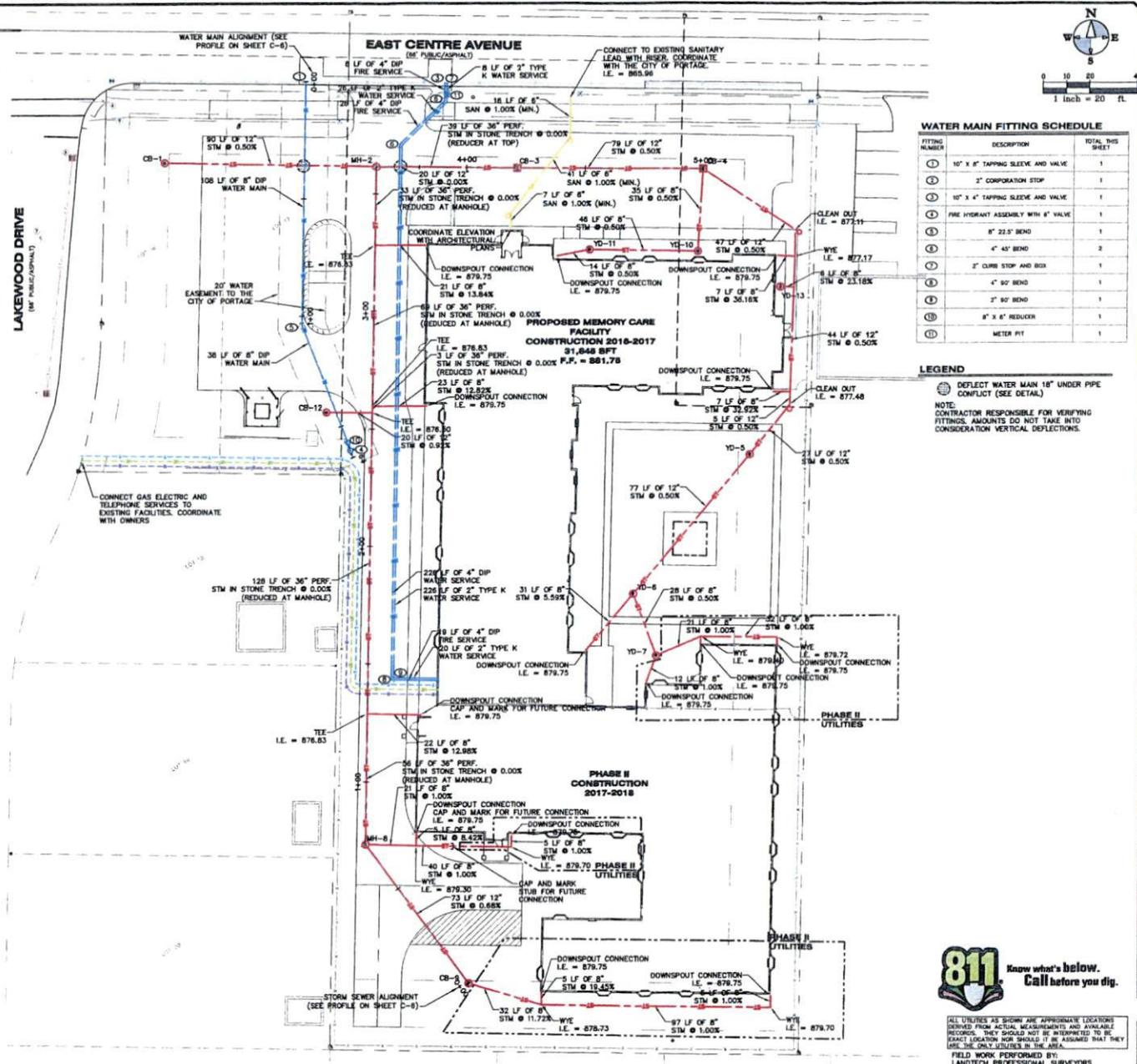


UTILITY NOTES

1. DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
2. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
3. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
4. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
5. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE, SHEET C-6.
6. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
7. WATER MAIN AND SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH CITY OF PORTAGE REQUIREMENTS.
8. VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY LEAD PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION.
9. SEE SITE ELECTRICAL PLAN FOR LOCATION OF ALL ELECTRICAL SLEEVES AND CONDUIT.
10. COORDINATE WATER METER LOCATION WITH CITY OF PORTAGE.
11. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 8" SANITARY SEWER LEADS.
12. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
13. STORM SEWERS SHALL BE CONCRETE C78-II, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND CITY OF PORTAGE. MANHOLES, TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
14. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
15. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CITY OF PORTAGE STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
17. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB-1	877.65	4'	6508	12" E: 875.15	
CB-3	880.45	4'	5105 M1	12" E: 876.49	12" W: 874.50
CB-4	880.24	4'	5105 M1	12" SE: 876.88 8" S: 879.27	12" W: 876.88
CB-9	877.50	4'	6508	8" E: 875.00	12" NW: 875.00
CB-12	879.18	2'	6508		12" E: 876.68
MH-2	880.91	4'	1040 A	12" SE: 876.50 12" W: 874.70 12" S: 874.50	
MH-8	880.95	4'	1040 A	12" SE: 874.50 8" E: 879.09	12" NE: 874.50
YD-5	879.54	NYCPLAST HD	12" SW: 877.62	12" NE: 877.62	
YD-8	879.54	NYCPLAST HD	8" S: 878.00 8" SW: 878.00	12" NE: 878.00	
YD-7	880.14	NYCPLAST HD	8" NE: 879.19 8" S: 879.53	8" N: 878.14	
YD-10	880.48	NYCPLAST HD	8" W: 879.45	8" N: 879.45	
YD-11	880.48	NYCPLAST HD	8" W: 879.68	8" E: 879.68	
YD-13	880.55	NYCPLAST HD	8" E: 878.55		



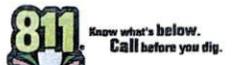
WATER MAIN FITTING SCHEDULE

FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
①	10" x 8" TAPPING SLEEVE AND VALVE	1
②	2" COOPERATION STOP	1
③	10" x 4" TAPPING SLEEVE AND VALVE	1
④	1" FIRE HYDRANT ASSEMBLY WITH 4" VALVE	1
⑤	8" 22.5° BEND	1
⑥	4" 45° BEND	2
⑦	2" CURB STOP AND BOX	1
⑧	4" 90° BEND	1
⑨	2" 90° BEND	1
⑩	8" x 8" REDUCER	1
⑪	METER PIT	1

LEGEND

① DEFLECT WATER MAIN 18" UNDER PIPE CONFLICT (SEE DETAIL).

NOTE: CONTRACTOR RESPONSIBLE FOR VERIFYING FITTINGS. AMOUNTS DO NOT TAKE INTO CONSIDERATION VERTICAL DEFLECTIONS.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

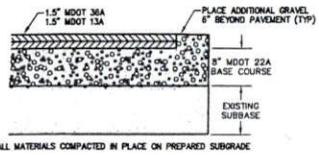
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYORS

hurry & steward, llc
2800 south 11th street
portage michigan 49783
268.552.4800
www.hurryandsteward.com

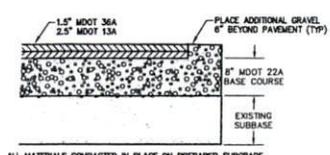
hurry & steward

Job No. 15-0010 P.E. No. 0410000000 Date: 05/10/18
 1. SITE PLAN REVIEW 02/24/18
 2. SITE PLAN SUBMITTAL 03/07/18
 3. SITE PLAN SUBMITTAL 03/07/18
 4. SITE PLAN SUBMITTAL 03/07/18

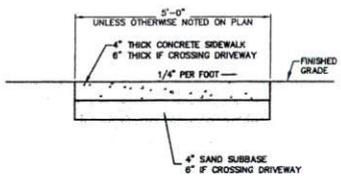
Sheet Title: SITE UTILITY PLAN DOCKERTY MEMORY CARE WOODLAWN TERRACE
 Sheet: 05/10/18
 C-4



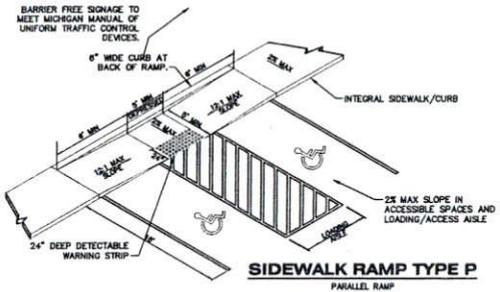
LIGHT DUTY PAVEMENT SECTION
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE



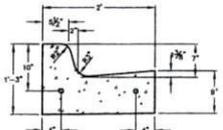
SIDEWALK DETAIL
NOT TO SCALE



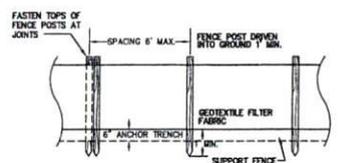
SIDEWALK RAMP TYPE P
PARALLEL RAMP



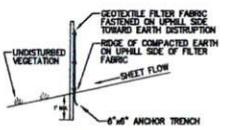
INTEGRAL SIDEWALK/CURB
NOT TO SCALE



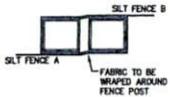
"C4" CURB DETAIL
NOT TO SCALE



FRONT VIEW
NOT TO SCALE

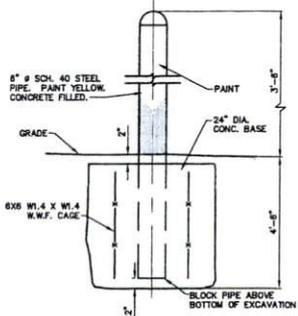


SECTION
NOT TO SCALE

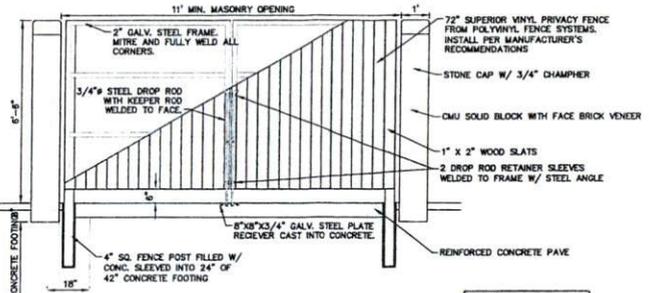


JOINT DETAIL
NOT TO SCALE

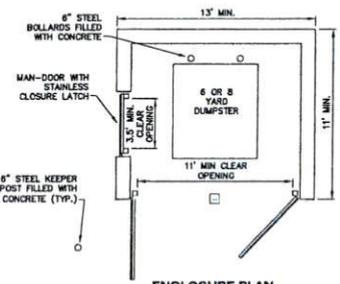
SILT FENCE DETAILS



6" Ø PIPE BOLLARD
NO SCALE

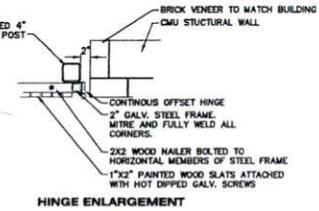


ENCLOSURE SECTION



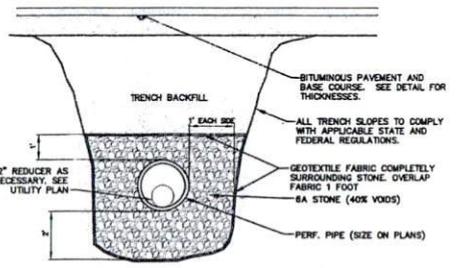
ENCLOSURE PLAN

PAIN BOLLARDS, COLORS TO BE SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS. ALL STEEL COMPONENTS TO BE GALVANIZED.



HINGE ENLARGEMENT

BRICK DUMPSTER ENCLOSURE
NOT TO SCALE



STONE TRENCH DETAIL
NO SCALE

VOLUMES PROVIDED BELOW ASSUME 40% Voids IN STONE

PIPE SIZE	VOLUME/LEI
12"	5.27 CFT
18"	7.36 CFT
24"	8.87 CFT
36"	16.24 CFT

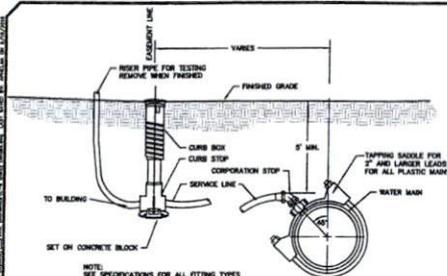
hurley & Stewart, Inc.
3500 South 11th Street
Kalamazoo, MI 49009
269.552.4980 fax 269.552.4991
www.hurleyandstewart.com



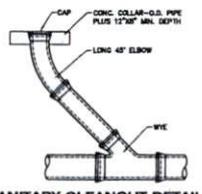
Job No. 15-0102 P.M. - QALSC 05/10/16
DESIGNED BY: JAC
CHECKED BY: JAC
DATE: 05/10/16
SCALE: AS SHOWN
DATE: 05/10/16
DATE: 05/10/16
DATE: 05/10/16

DETAILS
DOCKERY MEMORY CARE
WOODLAWN TERRACE

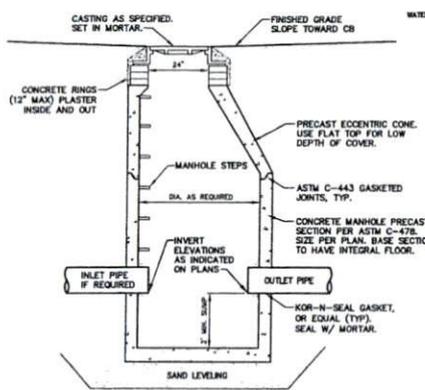
Sheet Title:
Project:
Client:



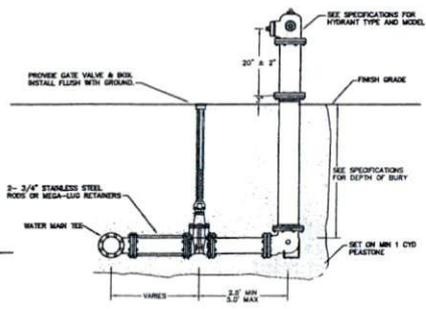
WATER SERVICE DETAIL
NO SCALE



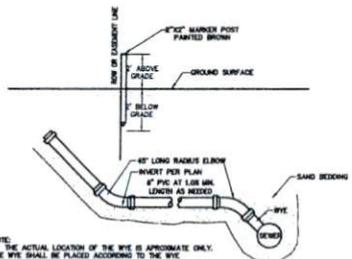
SANITARY CLEANOUT DETAIL
NO SCALE



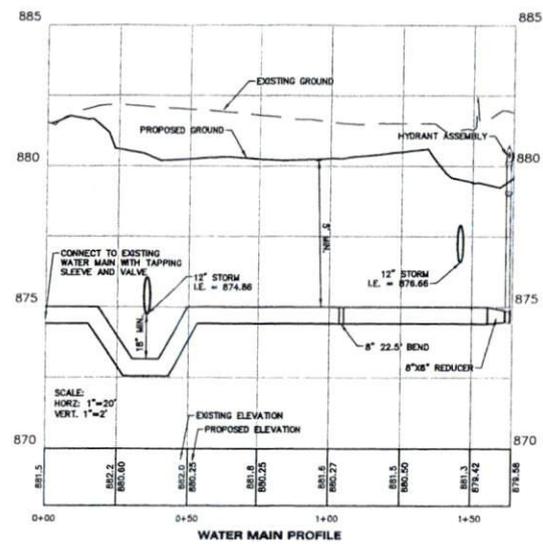
CATCH BASIN DETAIL
NO SCALE



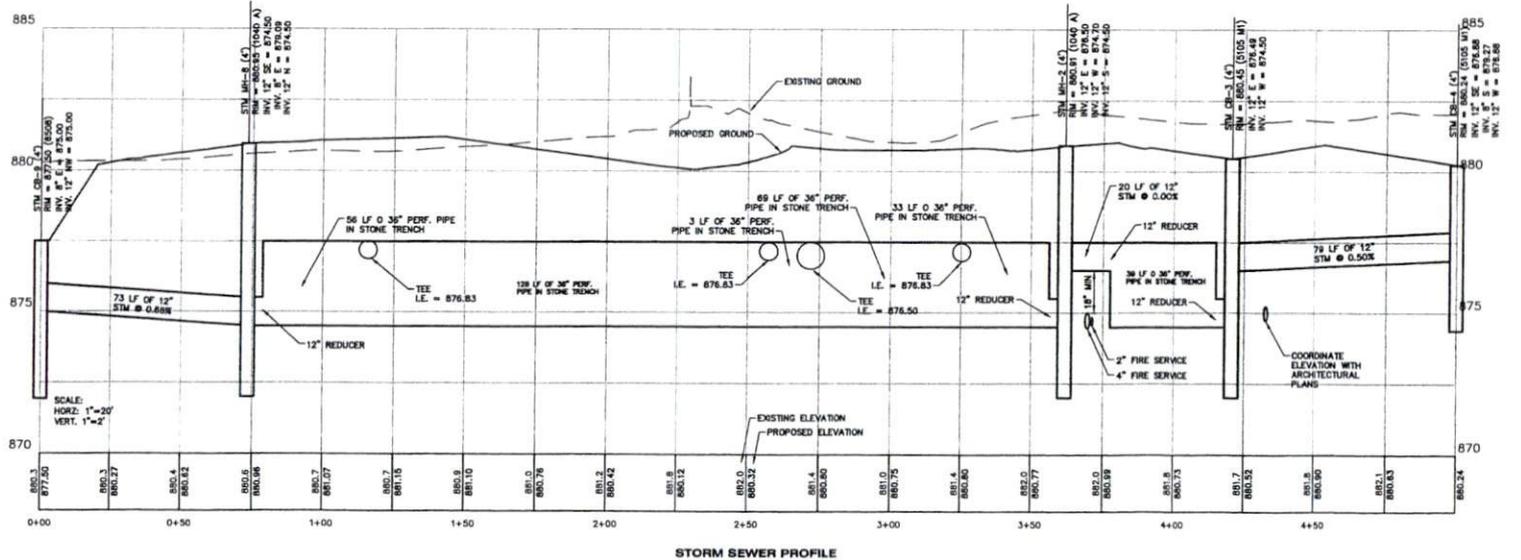
HYDRANT ASSEMBLY DETAIL
NO SCALE



SANITARY LEAD DETAIL
NO SCALE



WATER MAIN PROFILE



STORM SEWER PROFILE

hurley & stewart, llc
2800 south 11th street
tomball, texas 77375
281 552 4600
www.hurleyandstewart.com

DATE: 06/10/16
PROJECT: DOCKERY MEMORY CARE WOODLAWN TERRACE
SHEET: 0-6

DETAILS
DOCKERY MEMORY CARE
WOODLAWN TERRACE

Sheet Title: 0-6
Project: DOCKERY MEMORY CARE WOODLAWN TERRACE
Client: [Blank]

0-6

PORTAGE PLANTING REQUIREMENTS

- 1 SF OBTURED INTERNAL LANDSCAPE/ 15 SF OF PARKING AREA (MINUS 20' ADJACENT TO PERIMETER PLANTINGS) PARKING AREA = 6,284 SF
- INTERNAL LANDSCAPE REQUIRED = 418 SF
- INTERNAL LANDSCAPE PROVIDED = 915 SF
- 1 TREE / 150 SFT OF REQUIRED INTERNAL CURBED ISLAND = 3 TREES
- 1 TREE / 30' ROAD FRONTAGE = 427/30' = 14 TREES (8 EXISTING)
- 36" SHRUB HEDGE OR BERM BETWEEN PARKING AND ROAD ROW
- 8" WALL/BERM/FENCE/PLANTING AT PROPERTY LINE ADJACENT TO RESIDENTIAL ZONING

LANDSCAPE NOTES:

- ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL PEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 8-10 LBS/ 1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
- AREAS LABELED 'SOO' TO BE PLANTED WITH UPLAND MINERAL SOIL GROWN BLUEGRASS SOO. SOO TO HAVE BEEN HARVESTED METHOD. ENSURE A SOURCE OF WATER BEFORE SCHEDULING SOO PLANTING. ENSURE A SOURCE OF WATER BEFORE SCHEDULING SOO PLANTING. PREPARE SOIL TO RECEIVE SOO WITH A 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
- ALL EDGING SHALL BE STANDARD COMMERCIAL--STEEL EDGING 3/4" x 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF STEEL FRAME.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANS 280.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANS 280.1 STANDARDS.
- WARRANT TREES, SHRUBS AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 20% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
- MAINTAIN TREES, SHRUBS AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTLING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VISIBLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- BEEN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROODLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, RE-PLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
- PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10' SOFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.

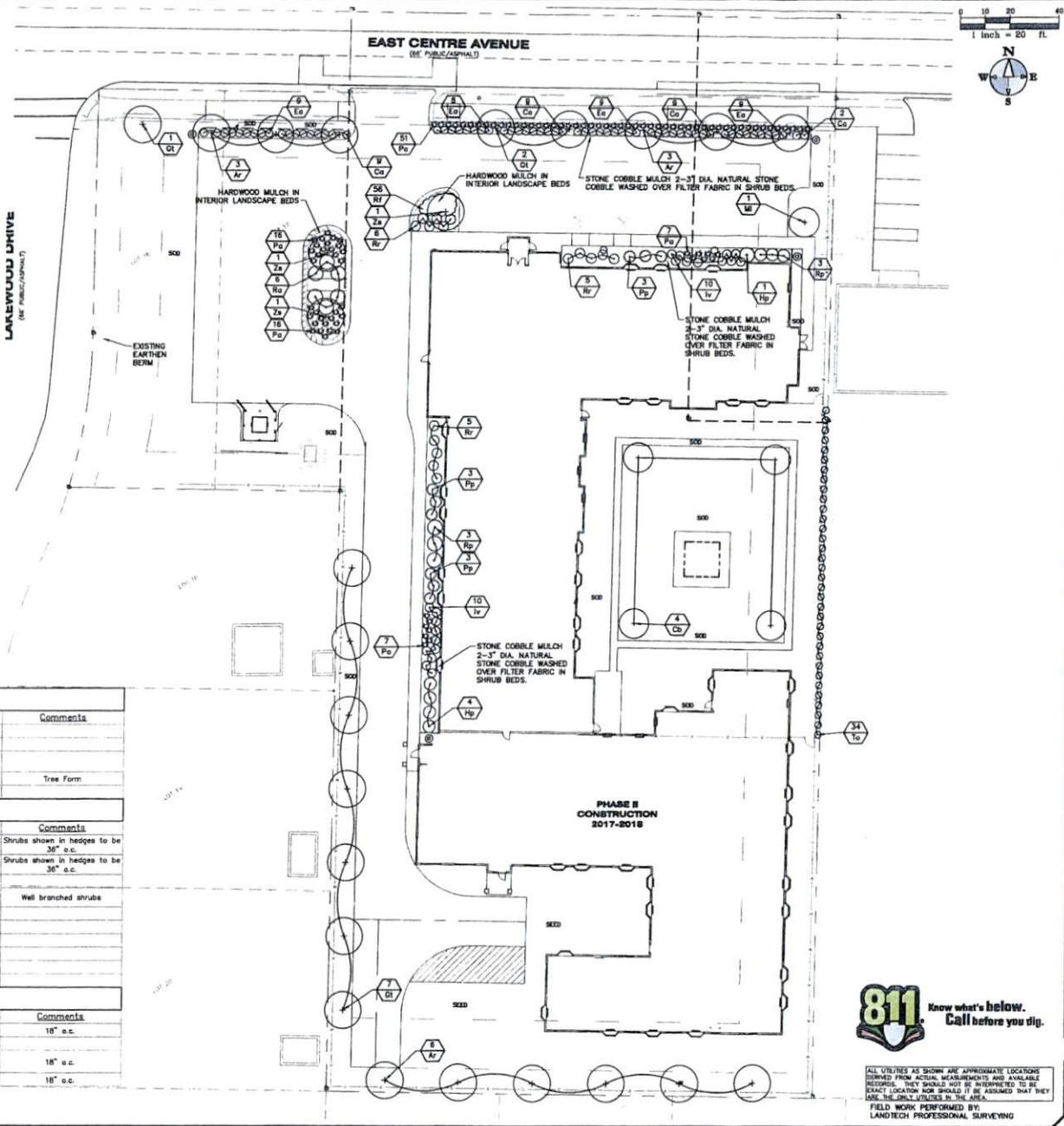
LEGEND

- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED.
- PERENNIAL PLANTING. SEE PLANTING SCHEDULE FOR PLANT SPACING REQUIREMENTS.
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS, EVERGREEN AND DECIDUOUS
- PROPOSED ORNAMENTAL GRASS
- STEEL LANDSCAPE EDGING.

Planting Schedule Trees					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ar	Acer rubrum 'Frankers'	Red Sunset Maple	2 1/2" Cal.	B&B	
Cb	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Pyramidal Hornbeams	2 1/2" Cal.	B&B	
Ct	Cedrela tricochloa 'Inermis'	Sunburst Honeylocust	2 1/2" Cal.	B&B	
Mt	Magnolia x lebaneri 'Verni'	Dr. Merrill Magnolia	2 1/2" Cal.	B&B	Tree Form
Za	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2 1/2" Cal.	B&B	

Planting Schedule Shrubs					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ca2	Celastrus alnifolia 'Ruby Spice'	Ruby Spice Summersweet	36" HL.	Cont.	Shrubs shown in hedges to be 36" o.c.
Es	Eucymnus alatus 'Odom'	Little Moses Burning Bush	36" HL.	Cont.	Shrubs shown in hedges to be 36" o.c.
Hp	Hydrangea paniculata 'DyPinky'	Pinky Winky Hydrangea	42" HL.	Cont.	
Iv	Itea virginica 'Sprich'	Little Henry Sweetspike	18" HL.	Cont.	Well branched shrubs
Pp	Picea pungens 'Glabosa'	Globe Blue Spruce	24" HL.	Cont.	
Ra	Rhus aromatica 'Gra-Low'	Gra-Low Fragrant Sumac	36" Spr.	Cont.	
Rr	Rosa 'Redcan'	Pink Knockout Rose	24" spread	#3 Cont.	
Rp	Rhododendron P.M.	P.M. Hybrid Rhododendron	42" HL.	B&B	
Te	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	5' HL.	B&B	
Vn	Viburnum nudum 'Winterthur'	Winterthur Viburnum	30" HL.	Cont.	

Planting Schedule Perennials					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Cv	Cornopsis verticillata 'Moonbeam'	Moonbeam Threadleaf Cornopsis	#1	Cont.	18" o.c.
Fa	Fountain Grass 'Fountain'	Fountain Grass 'Fountain'	#2	Cont.	
Rt	Rudbeckia hirta var. sullivantii 'Goldstrum'	Goldstrum Orange Coneflower	#1	Cont.	18" o.c.
Sn	Salvia nemorosa 'May Night'	Maynight Salvia	#1	Cont.	18" o.c.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE ASSUMED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY: LANDTECH PROFESSIONAL SURVEYING

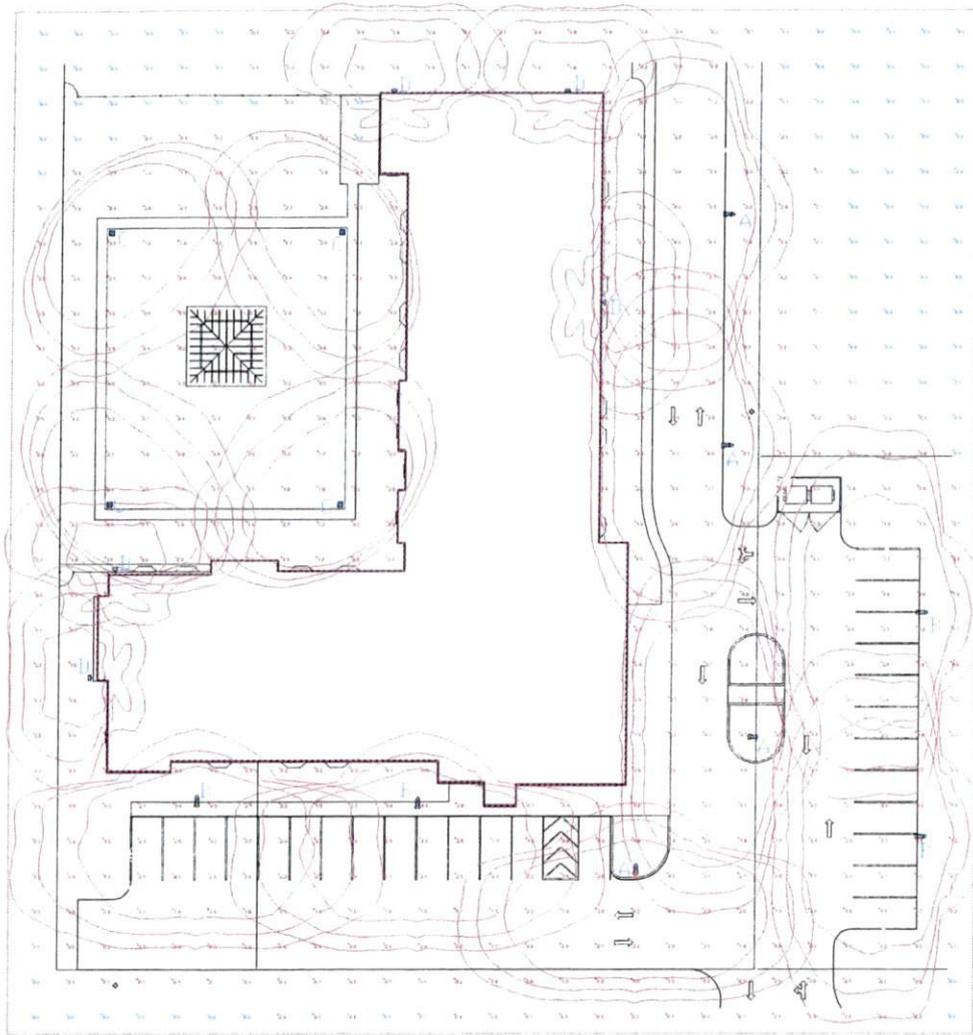
hurley & steward, llc
2800 south 11th street
Kalamazoo, michigan 49009
269.352.4960 fax 269.652.4961
www.hurlyandsteward.com

Job No. 16-0100 P.M. Date: 05/10/16
ISSUED FOR PERMITS: 05/10/16
1. SITE PLAN REVIEW: 05/10/16
2. VARIANCE REVIEW: 05/10/16
3. VARIANCE REVIEW: 05/10/16
4. SITE PLAN REVIEW: 05/10/16
5. SITE PLAN REVIEW: 05/10/16

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 05/10/16

LANDSCAPE PLAN
DOCKERTY MEMORY CARE
WOODLAWN TERRACE

Sheet Title:
Project:
Client:
05/10/16
Sheet
L-1



Plan View
Scale: 1" = 10'

Fixture	Qty	Quantity	Manufacturer	Lottery Number	Part Number	Notes	Power	Footcandle	Footcandle	Footcandle	
A	4	Lithonia Lighting	DSX0 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	DSX0 LED with 40 LEDs 1050 mA, 4000K, Type 3 Beam Cover with HOUSING SIDE SHIELD	LED	1	DSX0 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	1700	476	1	68
B	4	Lithonia Lighting	DSX0 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	DSX0 LED with 40 LEDs 1050 mA, 4000K, Type 3 Beam Cover with HOUSING SIDE SHIELD	LED	1	DSX0 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	1700	476	1	68
C	4	Lithonia Lighting	MA20 LED 40C 130 Wx 7.5H 8' Pole 16" Hx 16" W	MA20 LED with 40 LEDs 1050 mA, 4000K, Type 3 Beam Cover with HOUSING SIDE SHIELD	LED	1	MA20 LED 40C 130 Wx 7.5H 8' Pole 16" Hx 16" W	4453	367	1	28.25
D	6	Lithonia Lighting	DSXW1 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	DSXW1 LED with 1 LIGHT ENGINE, 40 LEDs, Type 3 Beam Cover, HOUSING SIDE SHIELD, HOUSING OPTIC	LED	1	DSXW1 LED 40C 130 Wx 7.5H 16" Pole 16" Hx 16" W	1700	183	1	28

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	1.2 fc	5.2 fc	0.0 fc	N/A	N/A



LITHONIA DSX0. FIXTURE 'A' AND 'B' MOUNTED TO 16' POLE. FIXTURE 'A' IS TYPE III DISTRIBUTION AND FIXTURE 'B' IS TYPE IV DISTRIBUTION.



LUMINIS MA20. FIXTURE 'C' IS MOUNTED TO AN 8' POLE. FIXTURE 'C' IS TYPE IV DISTRIBUTION AND ROTATED 45 DEGREES ON SITE.



LITHONIA DSXW1. FIXTURE 'D' IS WALL MOUNTED ON BUILDING. FIXTURE 'C' IS TYPE III MEDIUM DISTRIBUTION.



DMC LIGHTING - PORTAGE
POINT-BY-POINT PHOTOMETRICS

Designer
MJC
Date
5/22/2018
Scale
See Drawing
Drawing No.
L-3
Summary

LEGEND

● ● ●	5702-4F-COM	45T-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (4')
● ● ● ● ●	5702-4F-COM	8-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (4')
● ● ● ● ● ● ●	5702-4F-COM	10-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (4')
● ● ● ● ● ● ● ● ●	5702-4F-COM	12-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (4')
● ● ● ● ● ● ● ● ● ● ●	5702-4F-COM	15-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (4')
● ● ● ● ● ● ● ● ● ● ● ● ●	5702-12FSH-COM	45T-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (12')
● ● ● ● ● ● ● ● ● ● ● ● ● ● ●	5702-12FSH-COM	8-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (12')
● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ●	5702-12FSH-COM	10-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (12')
● ●	5702-12FSH-COM	15-MPR PRECISION SERIES	TORO FIXED SPRAY POP-UP (12')
●	TSPCK (PVC)	#1.5 LOW ANGLE NOZZLE	TORO GEAR DRIVEN ROTARY POP-UP
●	TSPCK (PVC)	#3.0 NOZZLE	TORO GEAR DRIVEN ROTARY POP-UP
● ●	474-00		TORO 1" QUICK COUPLER VALVE W/1) KEY AND 1) HOSE SWIVEL
● ● ●	EZF-25-04		TORO 1" ELECTRIC VALVE
□	EVO-400 # (2) EMO-4	12 STATION	TORO EVOLUTION OUTDOOR CONTROLLER WITH/RS RAIN SWITCH
—	PVC 160R PIPE (ALL PIPE 1-1/2" AND LARGER)		
—	100M POLYETHYLENE PIPE (PE-3406 NSF APPROVED) (ALL PIPE DOWNSTREAM OF VALVE 1-1/2" AND SMALLER EXCEPT DRIP PIPE)		

NOT SHOWN #14 UL APPROVED 24V RED CONTROL WIRE WITH #14 UL APPROVED WHITE COMMON WIRE

● POINT OF CONNECTION (P.O.C.)

▶ 765-1-1/2 FEEDO 1-1/2" PRESSURE VACUUM BREAKER

● 206 SERIES REWASH LINE SIZE ISOLATION VALVE

— TLOVA-16000 NETAIRM .4 GPM CV DRIP PIPE

— TLOVXXX NETAIRM CV BLANK TUBING (AS SUPPLY & DRAINOUT READERS)

NOT SHOWN PRCV75L4E2VK NETAIRM 5/8" PRESSURE REGULATOR

NOT SHOWN DPO75-140 NETAIRM 5/8" FILTER

NOT SHOWN TLV-1 NETAIRM LINE-FLOWING VALVE

- GENERAL NOTES:**
- COORDINATE THIS WORK WITH ALL OTHER TRADES.
 - ALL PLUMBING AND ELECTRICAL SHALL BE INSTALLED ACCORDING TO STATE AND LOCAL CODES.
 - ALL SLEEVES SHALL BE # PVC (100% ANALYSIS OTHERWISE SPECIFIED). SLEEVE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.
 - ALL PIPE NOT SIZED DOWNSTREAM OF VALVE IS 1" DUCTY DRIP PIPE.
 - IRRIGATION CONTRACTORS POINT OF CONNECTION SHALL BE ON P-TYPE K COPPER PIPE SIZED AT THE LOCATION SHOWN ON THE PLAN.
 - 115V POWER INTO CONTROLLER SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR.
 - CONTROLLER AND RAINWATER SHALL BE ADJUSTED AT LOCATION SHOWN ON PLAN (VERIFY EXACT LOCATION WITH OWNERS REPRESENTATIVE).
 - IRRIGATION CONTRACTOR SHALL ADJUST THE FLOW CONTROL FEATURE ON ALL ELECTRIC VALVES PER THE MANUFACTURERS RECOMMENDATIONS TO MAXIMIZE THE VALVES PERFORMANCE AND LONGEVITY.
 - IF SITE PRESSURE IS NOT ADEQUATE, A BOOSTER PUMP AND RELATED EQUIPMENT MAY BE REQUIRED AT ADDITIONAL COST TO OWNER.
 - IRRIGATION PIPE AND EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARITY ONLY AND SHALL BE INSTALLED WITHIN THE TURF & LANDSCAPE AREAS.
 - PIPE ROUTING IS DIAGNOSTIC. ALL EQUIPMENT AND PIPE ARE TO BE FIELD ADJUSTED TO TAKE INTO CONSIDERATION ANY OBSTRUCTIONS AND ALL LANDSCAPE.
 - NOTE: PATENTED PRECISION SPRAY NOZZLES USE APPROXIMATELY 50% LESS WATER THAN ANY OTHER NOZZLES. SUBSTITUTION OF ANY OTHER NOZZLES WILL REQUIRE RE-CALCULATION OF ALL SPRAY ZONES DUE TO GREATER WATER FLOW. THIS WOULD RESULT IN LARGER PIPE SIZE, POSSIBLY LARGER VALVE SIZE OR QUANTITY AND LARGER CONTROLLER.

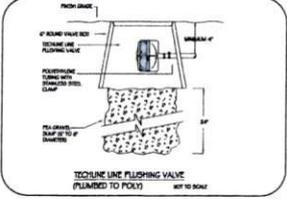
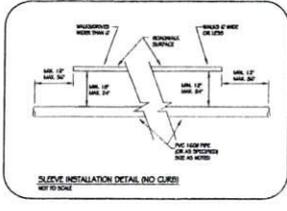
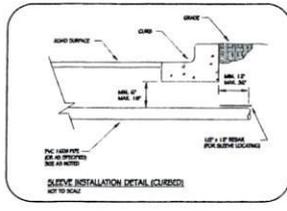
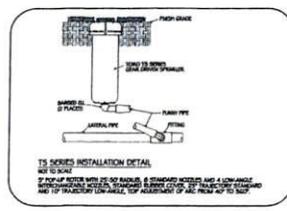
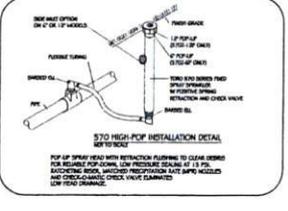
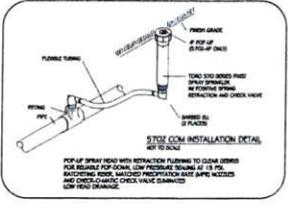
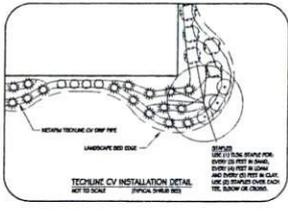
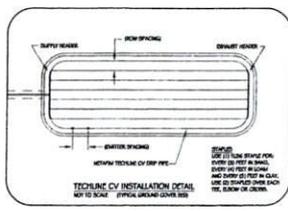
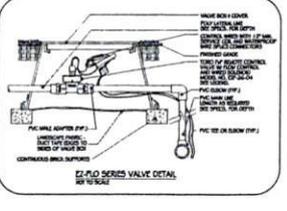
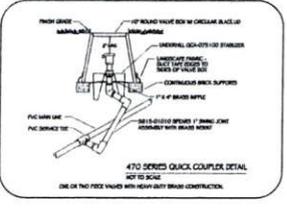
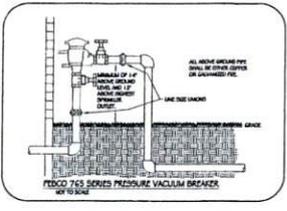
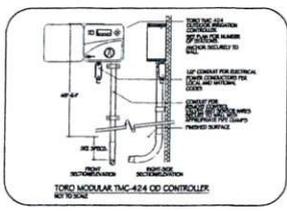
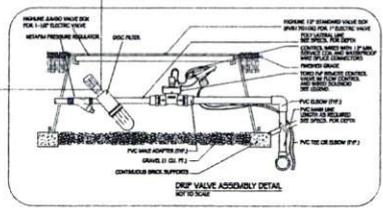
WATER REQUIREMENTS: 24 GPM @ 90 PSI AT THE P.O.C.

ZONE NUMBER	VALVE SIZE	GPM	ZONE TYPE
1-1	1"	3	LANDSCAPE DRIP
1-2	1"	4	TURF SPRAYS
1-3	1"	24	TURF ROTORS
1-4	1"	22	LANDSCAPE SPRAYS
1-5	1"	23	TURF SPRAYS
1-6	1"	2	LANDSCAPE DRIP
1-7	1"	18	TURF SPRAYS
1-8	1"	16	TURF ROTORS
1-9	1"	17	TURF ROTORS
1-10	1"	12	TURF SPRAYS
1-11	1"	16	TURF ROTORS

● ZONE NUMBER SYMBOL

○ CONTROLLER NUMBER

○ STATION NUMBER



THIS DESIGN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT AND/OR OWNER WHO ASSUMES FULL RESPONSIBILITY FOR ITS CORRECTNESS.



Spartan Distributors

467 W. Ontario St.
Spartan, MI 48345
Ph: 616.607.7301
Fax: 616.607.6206

Drawn by: **CLIMBERS, C.L.D.**
Plan #: 15-000
Date: 8/20/16
Revised: 1-3-16 DOC

1050 Opdyke Road
Auburn Hills, MI 48002
Ph: 248.373.8000
Fax: 248.373.0099
800.822.2216



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

hurley & Stewart, Inc.
2800 south 11th Street
Farmington, Michigan 48009
508.532.0960 Fax: 268.552.4961
www.hurleyandstewart.com

Site No: 16-1000 - 8 M... 04/10/16 04/10/16 05/10/16

1. SITE PLAN REVIEW	02/04/16
2. VARIANCE REVIEW	03/02/16
3. SITE PLAN SUBMITTAL	04/29/16
4. PERMITS	07/20/16

Copyright © of Hurley & Stewart, LLC

**IRRIGATION DETAILS
DOCKERTY MEMORY CARE
WOODLAWN TERRACE**

Sheet Title:
Project:
Client:
06/10/16
Sheet
1-2

TO: Planning Commission
FROM: Vicki Georgeau, ^{WJ} Director of Community Development
SUBJECT: Site Plan for Chick-Fil-A, 6202 South Westnedge Avenue.

DATE: May 13, 2016

I. INTRODUCTION:

A site plan has been submitted by Chick-Fil-A requesting approval to construct a new approximate 5,000 square foot drive-thru restaurant building and associated site improvements at 6202 South Westnedge Avenue. The existing Bilbos Pizza building will be demolished to accommodate the Chick-Fil-A project. The approximate 0.33 acre parcel is zoned B-2, community business and will be assimilated into the overall Southland Mall zoning lot (see attached letter from Meyer C. Weiner Company).

The new Chick-Fil-A building will maintain a minimum 75-foot setback from South Westnedge Avenue. In addition to new greenstrip/interior parking lot landscaping, the redevelopment plan will also provide a sidewalk connection/crosswalk from South Westnedge Avenue to the building entrance. No changes to the current access arrangement at the Southland Mall zoning lot are proposed. Storm water from the site and the overall Southland Mall zoning lot will continue to be collected and conveyed to the Consolidated Drain through existing underground conveyances situated beneath the parking area. Outdoor lighting units (light poles and building mounted) will contain shielded fixtures and conform to applicable ordinance standards.

For Commission information, parking facilities associated with the Southland Mall zoning lot are legally nonconforming to present day standards. In 1994, the Planning Commission approved the site plan for redevelopment of Southland Mall which identified this nonconformity and indicated that a minimum of 95% of the required parking spaces would be provided. Consistent with this previous approval, the Chick-Fil-A redevelopment project will maintain the overall parking on the Southland Mall zoning lot at approximately 98% of the required parking

During administrative review of the site plan, staff advised the applicant that retention of the existing freestanding Bilbos Pizza sign and location of the two refuse dumpsters and grease container in an enclosure within the front yard of the site (approximately 35-feet from South Westnedge Avenue) could not be approved or supported and variances from the Zoning Board of Appeals (ZBA) would be needed. As the site plan still identifies these two site plan elements, as initially proposed, a May 12, 2016 communication from Progressive AE (see attached) acknowledges that the freestanding sign will be removed and the refuse dumpsters relocated, unless variances are obtained from the ZBA.

II. RECOMMENDATION:

The site plan has been reviewed by the City Administrative departments. Staff recommends that the Site Plan for Chick-Fil-A, 6202 South Westnedge Avenue, be approved subject to removal of the Bilbos Pizza freestanding sign and relocation of the refuse dumpsters to the rear of the building, unless variances are obtained from the ZBA.

Attachment: May 4, 2016 communication from Meyer C. Weiner Company
May 12, 2016 communication from Progressive AE
Site Plan Sheets



May 4, 2016

RECEIVED
MAY 05 2016
COMMUNITY DEVELOPMENT

Christopher Forth, AICP
Deputy Director of Planning,
Development and Neighborhood Services
7900 South Westnedge Avenue
Portage, Michigan 49002

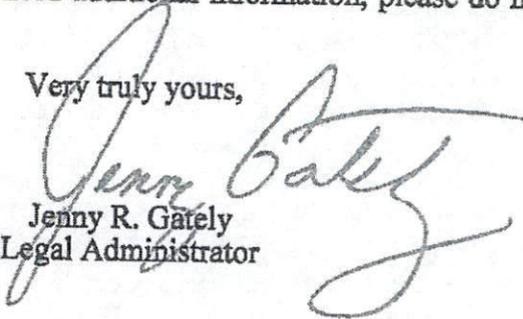
Re: Chick-fil-A, Portage, Michigan

Dear Mr. Forth:

On behalf of Southland Mall, LLC, Southland Acquisitions, LLC and Southland Annex, LLC (together comprising what is known as "Southland Mall"), I am writing this letter to confirm that Southland Mall is cooperating with Chick-fil-A in regards to the development of a new Chick-fil-A to be located in part of the land currently occupied by Bilbo's situated in front of the shopping center and that it is Southland Mall's desire to assimilate Chick-Fil-A into the overall Southland Mall zoning lot.

If you have any questions, or need additional information, please do not hesitate to give me a call.

Very truly yours,


Jenny R. Gately
Legal Administrator

May 12, 2016

Christopher Forth, AICP
Deputy Director of Planning, Development & Neighborhood Services
City of Portage Department of Community Development
7900 South Westnedge Avenue
Portage, MI 49002

Re: Proposed Chick-fil-A at 6202 South Westnedge Ave., Portage, MI (CFA 3870 Westnedge)
Site Plan Review and Planning Commission Meeting

Dear Mr. Forth:

We received your review letter dated May 10, 2016 that addressed our re-submitted site plan drawings for a new Chick-fil-A Restaurant to be located in Portage, MI. We understand that in order for our plans to move forward to Site Plan Review on the May 19, 2016 meeting you are requesting that we eliminate the free standing sign from the site plan, and move the dumpster to the rear yard.

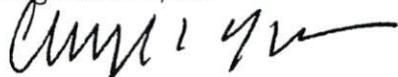
We are asking that we be placed on the May 19, 2016 planning commission meeting with the understanding that we will not be allowed to have the free standing pylon sign on the site or the dumpster in the current location (the front yard area) without a variance from the ZBA. If we do not get this variance, we will re-submit a revised site plan that will be in compliance with the dumpster location and the elimination of the existing free standing pylon sign. We ask that the Planning Commission consider this and allow the revised site plan to be reviewed and approved by the Zoning Administrator.

It is important for us to have the site plan review at the May 19, 2016 Planning Commission meeting to meet our schedule and to keep the project moving. We understand that the next ZBA meeting is June 13, 2016 and we will make application on Monday May 16 2016 with our variance request.

Thank you for your consideration and working with us to make this site plan review happen.

Sincerely,

Progressive AE, Inc.



Cheryl C. Scales, PE
Principal

CC: Chick-fil-A : Jason Hill, Candy Nookes
Cushman & Wakefield: Justin Lurk, Lauren Miller
Westnedge Shoppes LLC: Tim Timmons
77020002



Chick-fil-A

5200 Buffington Rd
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
△

Mark Date By
△

Mark Date By
△

Seal

progressive
1815 W. 10th St., Suite 100, Ft. Collins, CO 80521
970.226.8888
www.progressive.com

STORE #03870
FSU 508H-N-Sq-Lg

6202 South
Westledge Avenue
Portage, Michigan

SHEET TITLE

SITE CONTEXT
PLAN

VERSION: V5
ISSUE DATE: 8-2015

Job No.: 22020004

Store #: 3870

Date: 5.04.16

Drawn By: BCM

Checked By: GSS

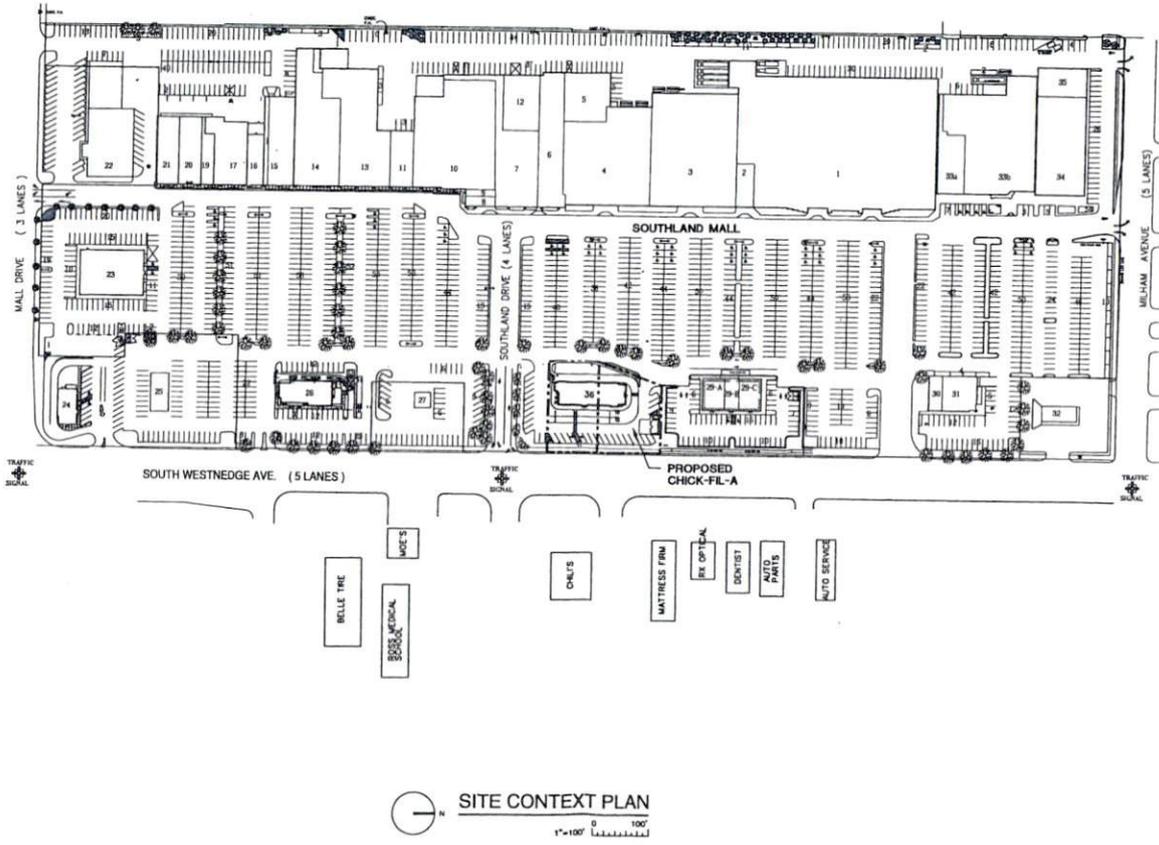
Sheet

C-0.1

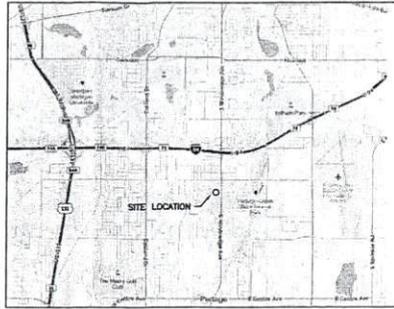
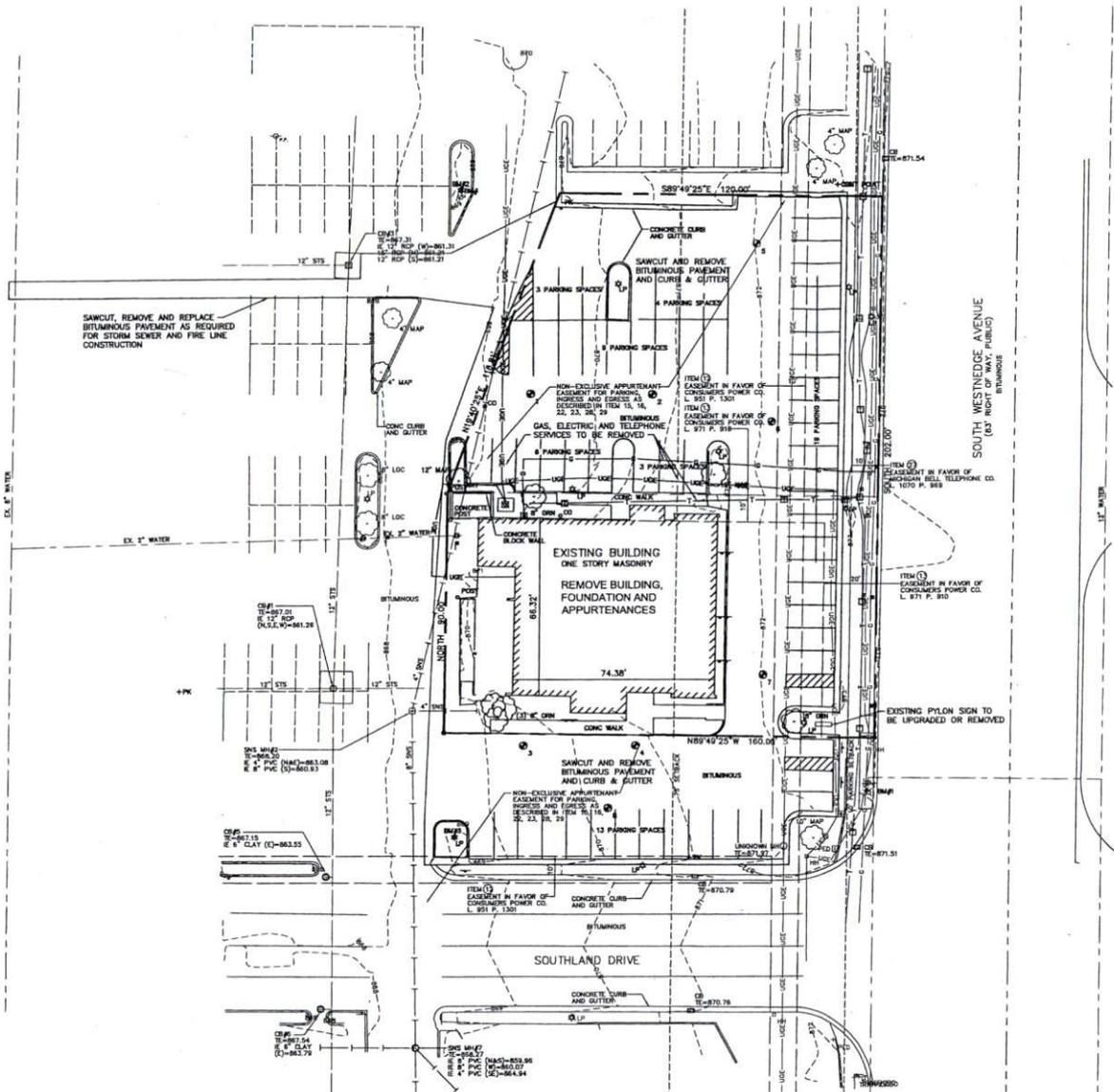
SOUTHLAND ZONING LOT PLAN KEY

NO.	TEXT/NO.	TYPE	AREA	NO.	TEXT/NO.	TYPE	AREA	NO.	TEXT/NO.	TYPE	AREA
1	KOHL'S	SR	181,000 S.F.	15	PIVOT GATE	NOT OWNED	5,175 S.F.	27	PANCHO MEXICAN REST.	SR	2,747 S.F.
2	RED KLONDO	SR	31,427 S.F.	16	PIVOT GATE	NOT OWNED	5,175 S.F.	28	JEMMY BRUNS	SR	21,462 S.F.
3	F.P. MARY	SR	192,400 S.F.	17	LANE BRYANT	SR	18,550 S.F.	29	NOBLE & CO.	SR	40,800 S.F.
4	HARNES & NOBLE	SR	25,254 S.F.	18				30	HAIR MASTERS	SR	4,487 S.F.
5	FAMILY CENTER FOR THE ARTS	SR	7,708 S.F.	19	WEIGHT WATCHERS	SR	4,887 S.F.	31	HELPING HANDS	SR	3,011 S.F.
6	THURSDAY MORNING	SR	1,000 S.F.	20	P.A. & BOUTER	SR	4,100 S.F.	32	FANNIE MAT. CANTY	NOT OWNED	17,245 S.F.
7	MAY	SR	15,400 S.F.	21	DOUG CANDRY	SR	14,800 S.F.	33	MALIBU	SR	4,174 S.F.
8	SPICKSMITH	SR	1,000 S.F.	22				34	ARC TRADEHOUSE	SR	1,817 S.F.
9	HOVETS TINT & STITCHERY	SR	712 S.F.	23	PIVOT STANDING BUILDINGS	NOT OWNED	5,000 S.F.	35	OLD NAVY	SR	4,731 S.F.
10	OPTIX B&K	SR	74,088 S.F.	24	HARRISON LIGHT & LOG	SR	1,117 S.F.	36	INCORPORATING FOR THE HOME	SR	4,366 S.F.
11	CARTERS RETAIL	SR	1,800 S.F.	25	DAVIDS BRIDAL	SR	1,117 S.F.	37	CHICK-FIL-A	SR	4,971 S.F.
12	MAIL OFFICE	SR	5,148 S.F.	26	YASO BELL	NOT OWNED	2,000 S.F.				
13	TRC SPORTING GOODS	SR	17,468 S.F.	27	PIVOT BELL	NOT OWNED	1,000 S.F.				
14	PIVOT	SR	15,106 S.F.	28	VITAMIN SHOPPE	SR	4,444 S.F.				
15	PIVOT BELOW	SR	8,294 S.F.	29	UNION EDGE OIL SHOP	NOT OWNED	1,000 S.F.				
				30	BELONG	NOT OWNED	5,175 S.F.				

TOTAL GROSS LEASABLE AREA ON SITE = 364,483 S.F.
 S1-A SOUTHLAND MALL / ANNEE = 338,025 S.F.
 FIRE-STANDING BUILDINGS GROSS LEASABLE AREA = 45,458 S.F. + 4,971 S.F. = 50,429 S.F.
 TOTAL GROSS LEASABLE AREA BY ZONING LOT = 342,932 S.F. + 4,971 S.F. = 347,903 S.F.
 347,903 S.F. / 1,000 = 347.90
 347.90 S.F. = 1,879
 REQUIRED PARKING = 1,879 SPACES
 PARKING SHOWN = 1,847 SPACES = 98.3%



RECEIVED
 MAY 05 2016
 COMMUNITY DEVELOPMENT



VICINITY MAP
NO SCALE

LEGEND

- HIGH FOUND
- SECTION LINE
- - - RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - SUBJECT PROPERTY LINE
- - - SETBACK LINE
- UTILITY POLE
- ELECTRIC SWITCHGEAR
- TEL, ELEC, GAS, WATER MANHOLE
- TEL, ELEC, CATV, GAS MARKER
- CATCH BASIN
- MANHOLE
- VALVE & BOX
- △ HYDRANT
- FENCE LINE
- 12" STS STORM SEWER
- 8" DMS SANITARY SEWER
- 12" WM WATERMAIN
- GAS MAIN
- UNDERGROUND ELECTRIC LINE

ITEMS SHOWN IN BOLD TO BE REMOVED.

ELEVATION DATUM
ELEVATION DATUM IS NAVD 88
BASIS OF BEARINGS
HORIZONTAL DATUM IS MICHIGAN STATE PLANE
COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011).

BENCHMARKS:

BM #1 TOP OF SW FLANGE BOLT ON HYDRANT (UNDER #2) AT SW QUADRANT OF S. WESTLEDGE DR. AND SOUTHLAND DR.	ELEV. 874.06
BM #2 TOP OF S SIDE OF CONC LIGHT POLE BASE 110' N OF NW PROPERTY CORNER.	ELEV. 871.82
BM #3 TOP OF N SIDE OF CONC LIGHT POLE BASE 40' S OF SW PROPERTY CORNER, N SIDE OF SOUTHLAND DR.	ELEV. 870.54

SURVEY:
DATE: 2/24/16
PAGE LOG BOOK NO.: 15-00
PAGES: 48, 49
DATUM: NAVD 88



Chick-fil-A
5200 Buffington Rd.
Atlanta Georgia,
30348-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal



STORE #03870
FSU S08H-N-Sq-Lg

6202 South Westledge Avenue
Portage, Michigan

SHEET TITLE
EXISTING
CONDITIONS

VERSION: V5
ISSUE DATE: 8-2015

Job No. : 77020004
Store : 3870
Date : 5.04.16
Drawn By : DCM
Checked By: [Signature]

Sheet
C-1.0



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2995

Revisions:

Mark Date By

△

Seal

LEGEND:

- BITUMINOUS PAVEMENT
1-1/2" MDOT 38A SURFACE COURSE
2-1/2" MDOT 13A BINDER COURSE
8" MDOT 21AA AGGREGATE BASE COURSE
CONCRETE PAVEMENT
PROPOSED 20' HIGH LIGHT POLE (SEE PHOTOMETRICS PLAN)

PROPERTY OWNER

- 6202 S. WESTNEDGE AVENUE
FROND AND FRIENDS
225 PARSONS ST.
KALAMAZOO, MI 49007
TAX ID # 39-10-00009-27
NORTH AND SOUTH PROPERTY
6180 S. WESTNEDGE AVENUE
PART OF WESTNEDGE SHOPS, LLC
P.O. BOX 2470
PORTAGE, MI 49681

LEGAL DESCRIPTION (6202 S. WESTNEDGE COMBINED WITH WESTNEDGE SHOPS LLC

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PORTAGE, KALAMAZOO COUNTY, MICHIGAN, DESCRIBED AS CORNERING OF THE NORTHEAST CORNER OF SAID SECTION 9, THENCE SOUTH 533.00 FEET ALONG THE EAST LINE OF SAID SECTION 9, THENCE NORTH 89 DEGREES 48 MINUTES 25 SECONDS WEST, 50.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SOUTH WESTNEDGE AVENUE AND THE POINT OF BEGINNING; THENCE SOUTH, 202.00 FEET ALONG SAID WEST RIGHT OF WAY LINE, THENCE NORTH 89 DEGREES 48 MINUTES 25 SECONDS WEST 103.00 FEET; THENCE NORTH 90.00 FEET PARALLEL TO THE EAST LINE OF SAID SECTION 9; THENCE NORTH 19 DEGREES 42 MINUTES 25 SECONDS EAST 118.81 FEET; THENCE SOUTH 89 DEGREES 48 MINUTES 25 SECONDS EAST, 120.00 FEET TO THE POINT OF BEGINNING.

ZONED: B-2 (COMMUNITY BUSINESS DISTRICT)

PARKING

REQUIRED: 5.4 SPACES PER EACH 1,000 SF: (4,971/1,000) X 5.4 = 25 SPACES
PROVIDED: 30 + 2 BARRIER-FREE = 32 SPACES ON SITE
SHARED PARKING AGREEMENT WITH WESTNEDGE SHOPS, LLC
DRIVE-THRU STACKING = 24 SPACES

NOTES:

- 1. Bearings shown on this survey are based on bearings as described.
2. Subject parcel is zoned B-2 Community Business. Setbacks are:
Front (East) 75' Max. Building Height = 35'
Side (North & South) 0'
Rear (West) 0'
3. The underground utilities shown herein are based on a field survey of surface structure and various plans and records. They should not be interpreted to be in exact location nor should it be assumed that they are the only utilities in the area.
4. According to the Federal Emergency Management Agency's Flood Insurance Rate Map, the subject parcel is within Zone X - "area outside of the 1% CEM annual chance floodplain" per the parcel's location on community panel #302 of 500 for the county of Kalamazoo, Michigan.
5. All pavement markings to comply with the Michigan Manual of Uniform Traffic Control Devices.
6. BUILDING IS 24' TALL, SB WOOD CONSTRUCTION, OCCUPANCY TYPE - A2 ASSEMBLY.

SITE PLAN DESIGN AND KEY NOTES:

- 1 PAINTED DIRECTIONAL ARROW DETAIL 1/0'-4.0
2 PAINTED DRIVE-THRU GRAPHICS DETAIL 2/0'-4.0
3 PAINTED STOP LINE GRAPHIC DETAIL 2/0'-4.0
4 PAINTED HANDECAP PARKING SYMBOL DETAIL 4/0'-4.0
5 ACCESSIBLE PARKING STALL DETAIL 3/0'-4.0
6 8' BY PARKING STALL @ 8' X 11' DETAIL 3/0'-4.0
7 8' BY PARKING STALL @ 8' X 11' DETAIL 3/0'-4.0
8 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE) DETAIL 6/0'-4.0
9 "STOP" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6A/0'-4.0
10 "LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6B/0'-4.0
11 "ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6C/0'-4.0
12 "TRUCK BUILDING FOR DRIVE-THRU SERVICE" (SEE SIGNAGE PACKAGE) DETAIL 6D/0'-4.0
13 "RIGHT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6E/0'-4.0
14 "ONE WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE) DETAIL 6F/0'-4.0
15 "LEFT TURN ONLY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6G/0'-4.0
16 "DECEASED CROSSWALK" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6H/0'-4.0
17 "NO HOT ENTRY" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6I/0'-4.0
18 "NO PARKING" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6J/0'-4.0
19 "TWO GREEN LANES" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6K/0'-4.0
20 "LANE MOUNT" SIGN (SEE SIGNAGE PACKAGE) DETAIL 6L/0'-4.0
21 SIGNAGE ACCESSIBLE RAMP DETAIL 7/0'-4.0
22 CURB RAMP WITH FLARED SIDES DETAIL 8A/0'-4.0
23 RETURNED CURB ACCESSIBLE RAMP DETAIL 8B/0'-4.0
24 TRUNCATED SIDING - CAST IN PLACE DETAIL 11/0'-4.0
25 TYPICAL CONCRETE SIDEWALK DETAIL 12/0'-4.0
26 SIDEWALK WITH CURB & GUTTER SECTION DETAIL 13/0'-4.1
27 DRIVE-THRU PLAN DETAIL 14/0'-4.1
28 DRIVE-THRU SIGNETIC DETAIL 15/0'-4.1
29 SOLID PLASTIC WHEEL STOP DETAIL 16/0'-4.1
30 LANDSCAPE & BIRIGATION PROTECTOR DETAIL 17A/0'-4.1
31 SPRINKLING 24" CONCRETE CURB & GUTTER DETAIL 17B/0'-4.1
32 SPRINKLING 24" CONCRETE CURB & GUTTER DETAIL 17C/0'-4.1
33 DEPRESSURED SPRINKLING 24" CONCRETE CURB & GUTTER DETAIL 17D/0'-4.1
34 DEPRESSURED SPRINKLING 24" CONCRETE CURB & GUTTER DETAIL 18/0'-4.1
35 ROLLER/MOUNTAIN CURB DETAIL 18A/0'-4.1
36 SCREENED REFUSE ENCLOSURE DETAIL 18B/0'-4.1
37 SCREENED REFUSE ENCLOSURE STAGGERED DETAIL 18A/0'-4.1
38 SCREENED REFUSE ENCLOSURE ALTERNATE GRABAGE DETAIL 18A/0'-4.1
39 CONCRETE BOLLARD DETAIL 20/0'-4.1
40 TYPICAL PAVEMENT SECTION - LIGHT DUTY DETAIL 21/0'-4.2
41 TYPICAL PAVEMENT SECTION - MEDIUM DUTY DETAIL 21/0'-4.2
42 TRANSVERSE & LONGITUDINAL CONSTRUCTION JOINT DETAIL 22/0'-4.2
43 TRANSVERSE & LONGITUDINAL CONCRETE CONSTRUCTION JOINT DETAIL 23/0'-4.2
44 CONCRETE APRON @ TRASH ENCLOSURE DETAIL 24/0'-4.2
45 CONCRETE FINING DRIVE-THRU LAINE DETAIL 25/0'-4.2
46 CONCRETE FINING CURB FINISHING DETAIL 25/0'-4.2
47 ALUMINUM HANDRAIL DETAIL 26/0'-4.2
48 TYPICAL ADA RAMP AND HANDRAIL DETAIL 27/0'-4.2
49 CONTRACTION JOINT DETAIL 28/0'-4.2
50 KEYS CONSTRUCTION JOINT DETAIL 29/0'-4.2
51 LONGITUDINAL BUTT JOINT DETAIL 30/0'-4.2
52 EXPANSION JOINT DETAIL 31/0'-4.2
53 MULTI-LINE DIRECTIONAL GRAPHICS DETAIL 32/0'-4.3
54 PAINTED CROSS WALK DETAIL 33/0'-4.3
55 MENU BOARD & CANOPY ORDERING STATION DETAIL 34/0'-4.3
56 MENU BOARD LOOP DETECTION SYSTEM DETAIL 35/0'-4.3
57 8'-0" LANDING AND ENTRY DOOR PROST SLAB DETAIL 36/0'-4.3
58 GREASE TRAP (SEE PLUMBING PLAN) DETAIL 36/0'-4.3
59 ROOF DOWNSPUT (TO CONDUIT TO SITE DRAINAGE SYSTEM) DETAIL 36/0'-4.3
60 CLEARANCE BAR (SEE SIGNAGE PACKAGE) DETAIL 41/0'-4.3
61 PAVEMENT STOPPING AREA DETAIL 42/0'-4.4
62 TRUNCATED CURB EDGE AT RAILING CURB-GIRLS DETAIL 43/0'-4.4
63 CONCRETE FLUME DETAIL 44/0'-4.4
64 EX. ASPHALT / PROP. CONCRETE INTERFACE DETAIL 45/0'-4.4
65 EX./PROP. ASPHALT INTERFACE DETAIL 46/0'-4.4
66 EX./PROP. CONCRETE INTERFACE DETAIL 47/0'-4.4
67 SINGLE BICE BACK DETAIL 47/0'-4.4
68 TRANSFORMER DETAIL 47/0'-4.4
69 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE) DETAIL 17B/0'-4.1
70 PLUMBING, 50" (SEE SIGNAGE PACKAGE) DETAIL 17C/0'-4.1
71 RETAINING WALL WITH HANDRAIL ON TOP (SHOULDER, SEE DETAIL 25/0'-4.2) DETAIL 18/0'-4.1
72 OUTDOOR PATIO SPACE, SEE ARCHITECTURAL PLANS SHEET A-1.1 DETAIL 18/0'-4.1
73 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB DETAIL 18/0'-4.1
74 4" THICK CONCRETE STRIP BETWEEN CURBS DETAIL 18A/0'-4.1
75 4" HIGH PAINT STRIPS DETAIL 18A/0'-4.1
76 CURB & GUTTER AT ACCESSIBLE RAMP DETAIL 20/0'-4.1

progressive ae

STORE #03870

FSU SOBH-N-Sq-10

6202 South Westnedge Avenue Portage, Michigan

SHEET TITLE SITE PLAN

VERSION: V5 ISSUE DATE: 8-2015

Job No. : Z020004 Store : 3870

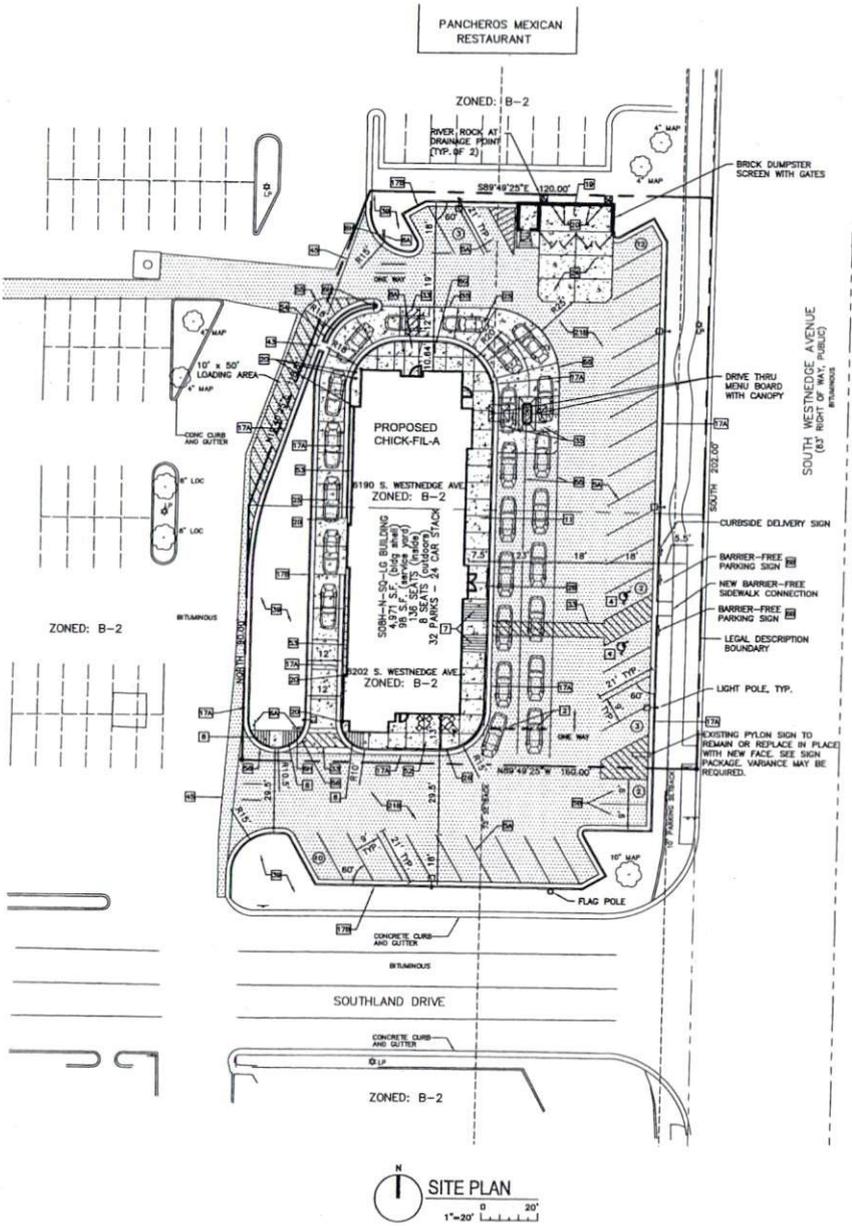
Date : 5.04.16

Drawn By : DCM

Checked By : CCS

Sheet

C-2.0





Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By
△

Mark Date By
△

Mark Date By
△

Seal

progressive ae
PROGRESSIVE AE
311 2844 CIRCLE, SUITE 101
PORTAGE, MICHIGAN 49783
www.progressiveae.com

STORE #03870
FSU 508H-N-Sq-Lg

6202 South
Westnedge Avenue
Portage, Michigan

SHEET TITLE
SITE GRADING
PLAN

VERSION: V5
ISSUE DATE: 8-2015

Job No.: Z7020004

Store #: 3870

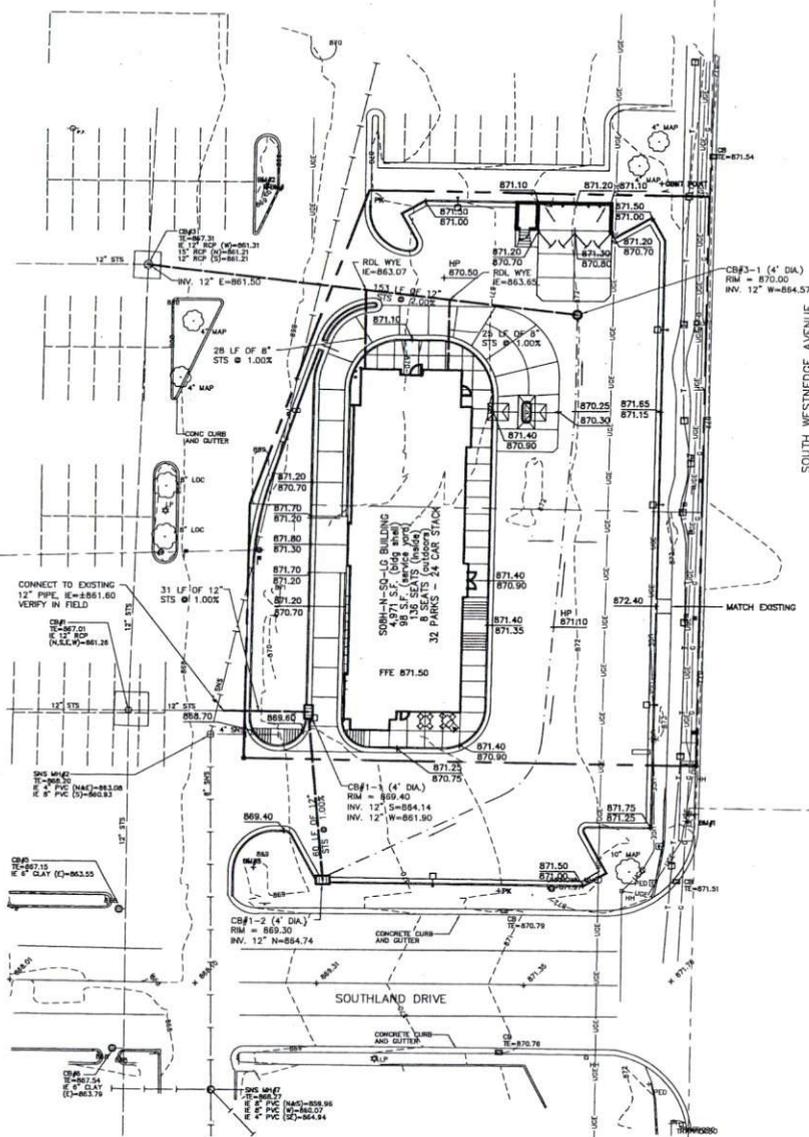
Date: 5.04.16

Drawn By: BCM

Checked By: CCS

Sheet

C-3.0



SITE GRADING PLAN
1"=20'

GRADING AND LAYOUT NOTES:

- 1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST EXISTING POINT OF CONNECTION AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY INTERFERENCE SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT HIS COST TO THE OWNER.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- 3. DETERMINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- 4. THE CONTRACTOR SHALL FURNISH THE RESPONSIBILITIES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEVIATION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR DRAINAGE. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENGINE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY RE-CO/CONNECTIONS PRIOR TO COMMENCING TO EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLAN, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- 6. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE DETERMINED BY THE LOCAL UTILITY COMPANIES. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- 7. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 8. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN CONTRACTOR REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEMAND UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- 9. ALL FILL, COMPACTOR, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- 10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- 11. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILES OF DEBRIS WILL NOT BE PERMITTED.
- 12. THE TOPS OF EXISTING MANHOLES, BUILT STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TEMPORARY INFORMATION AND UTILITY BUREAU ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.7% MINIMUM SLOPE ALONG ALL SIDEWALKS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT TO PREVENT POUDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE NOTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DEEMED SO AT THE CONTRACTOR'S OWN RISK.
- 14. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.7% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
- 15. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- 16. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL STORAGE AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.

S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WORK USED
EROSION CONTROLS			
SS1	SILT FENCE		Use adjacent to eroded area, to prevent sediment from being lost from adjacent storm drain.
SS3	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
SS8	MULTI PROTECTION FABRIC DRAIN		Use at stormwater inlets, especially at construction sites.
ER	PERMANENT SEEDING		Substitution method utilized to stabilize areas with slopes that have been eroded (but grading allowed).

EROSION CONTROL NOTES:

- INSTALL EROSION CONTROL MEASURES AT THE LIMITS OF EARTHWORK PRIOR TO THE START OF ANY EARTHWORK OPERATIONS. ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONJUNCTION WITH THE CONSTRUCTION SCHEDULE AND SEQUENCE AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- MAINTAIN ALL EROSION CONTROL INSTALLATIONS DURING THE COURSE OF CONSTRUCTION. MAKE INSPECTIONS AFTER EACH STORM EVENT AND REPAIR OR REPLACE ANY DAMAGE. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASINS TO MAINTAIN EFFECTIVENESS OF EROSION CONTROL INSTALLATIONS. REPAIR ANY ERODED AREAS ON SLOPES OR NEAR SILT FENCE, REGRADE AND RESEED ANY TEMPORARY SEEDER AREAS AS NECESSARY TO PREVENT EROSION.
- THE EROSION CONTROL MEASURES INDICATED ON THIS PLAN ARE BASED ON "THE MICHIGAN SOIL EROSION & SEDIMENTATION CONTROL CODEBOOK". THE SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED PER PLANS AND SPECIFICATIONS.
- KEEP PUBLIC ROADWAYS CLEAR OF ACCUMULATED SEDIMENT. SEDIMENTS SHALL BE REMOVED IMMEDIATELY UPON EXITS FROM PUBLIC ROADWAYS AND SHALL BE RETURNED TO THE LIKELY POINT OF ORIGIN. SEDIMENTS SHALL NOT BE FLUSHED OR WASHED FROM THE AREA WITH WATER.
- SILT SOCKS MANUFACTURED BY CSI GEOTURF OR HANES GEO PRODUCTS SHALL BE USED FOR STORM INLET PROTECTION FROM SSB (SEE S-E-S-C KEYING SYSTEM LEGEND).
- CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND ALL SUBSOIL SPUR AND TOPSOIL STOCKPILE AREAS. ALL SOIL PILES SHALL BE SEEDING WITH APPROVED SEED MIXTURES AND BE LOCATED AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, DITCH OR DRAINAGE WAY.
- REMOVE TEMPORARY CONTROL MEASURES AS FOLLOWS:
PAVEMENT AREAS - MAINTAIN IN SERVICE UNTIL PREPARATION FOR PLACEMENT OF RETURNING LEVELING COURSES.
LAWN AREAS - REMOVE AFTER LAWN IS WELL ESTABLISHED AND ROOTED.
- SILT FENCE SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND AFTER EVERY RAIN. SEDIMENT SHALL BE REMOVED IF DEPOSITS REACH HALF THE FENCE HEIGHT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SOIL EROSION. OWNER WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL.
- DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.

CONSTRUCTION SCHEDULE & SEQUENCE

	AUG '16	SEPT.	OCT.	NOV.	DEC.
INSTALL AND MAINTAIN TEMPORARY EROSION CONTROLS	→				
TOPSOIL STRIPPING & STOCKPILING	→				
ON-SITE UTILITIES	→				
SITE GRADING & EARTHWORK	→				
TOPSOIL SPREADING	→				
PERMANENT SEEDING	→				
PARKING LOT BASE & PAVING					

THIS CONSTRUCTION SCHEDULE IS PROVIDED TO INDICATE ANTICIPATED START DATES FOR SITE DISTURBANCE AND ANTICIPATED COMPLETION DATES FOR SITE STABILIZATION AS REQUIRED BY THE CITY OF PORTAGE FOR SOIL EROSION AND SEDIMENTATION CONTROL. EXACT START AND COMPLETION DATES FOR EACH ACTIVITY SHOULD BE COORDINATED WITH THE CONSTRUCTION MANAGER.



Chick-fil-A
Atlanta Georgia
30349-2998

5202 Baffington Rd.
Atlanta Georgia
30349-2998

Revisions:
Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

progressive
11111 Main St., Grand Rapids, MI 49503-5111
www.progressive.com

STORE #03870
FSU S08H-N-Sq-Lg

6202 South
Westnedge Avenue
Portage, Michigan

SHEET TITLE
STORMWATER
POLLUTION
PREVENTION
PLAN

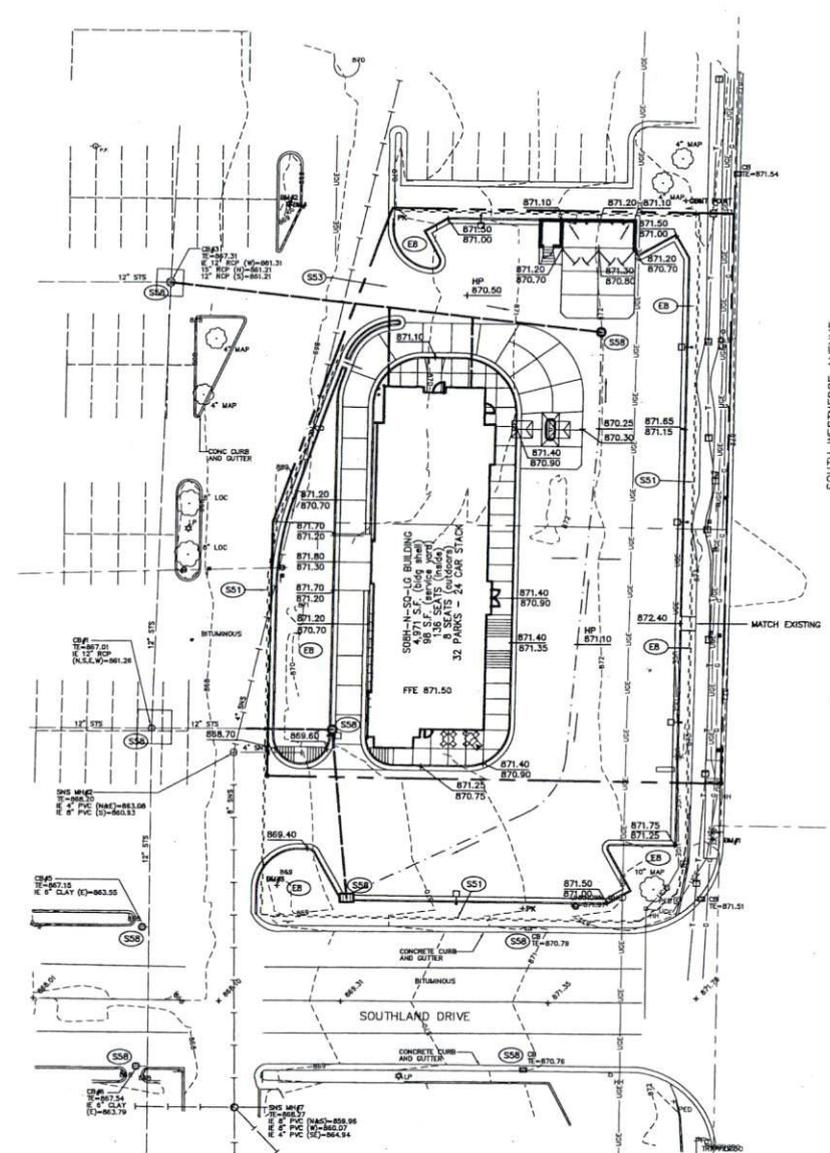
VERSION: V5
ISSUE DATE: 8-2015

Job No. : 77020004
Store : 3870

Date : 5.04.16
Drawn By : DDM

Checked By : CCS
Sheet

C-3.1



STORMWATER POLLUTION PREVENTION PLAN
1"=20'



Cricket
5300 Buford Rd.
Atlanta, Georgia
30349-2888

Revisions:

Mark	Date	By

Steel

ChimnaDesign
ARCHITECTURE
2000 Peachtree Dunwoody Rd.
Suite 100, Atlanta, GA 30328
Tel: (404) 487-1111
Fax: (404) 487-1112
www.chimna.com

CHIMNA DESIGN INC.
1425 PINEBROOK DR. SUITE 100
DUNWOODY, GA 30340
Tel: (770) 588-0284
Fax: (770) 588-0284
www.chimna.com

STORE #03870
Westbridge FSU

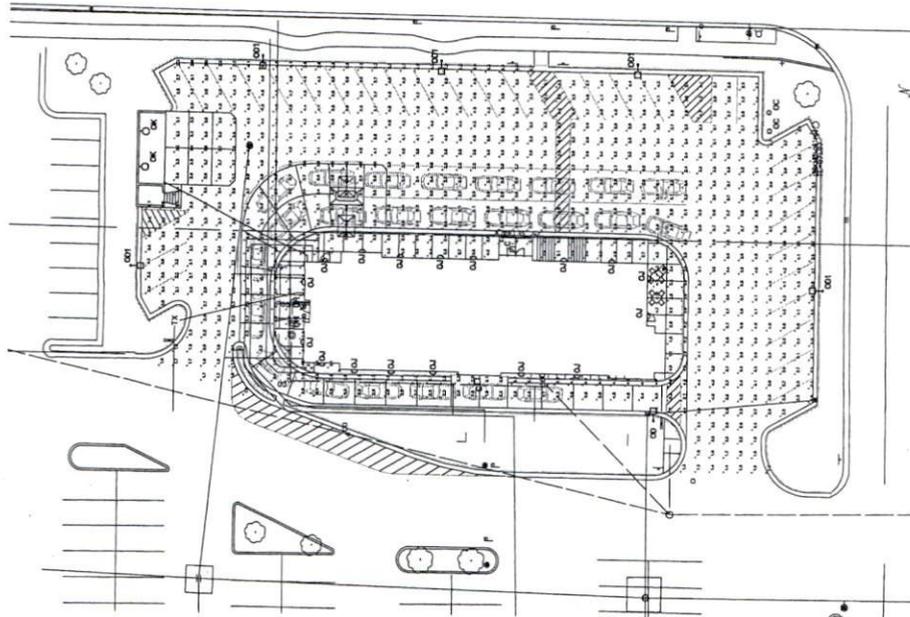
Westbridge Ave and
Millham Ave
Portage, MI 49802

SHEET TITLE
PHOTOMETRIC
PLAN -
INITIAL

VERSION: V6
ISSUE DATE: 12-2015

Job No. : 15-147Z
Store : 03870
Date : 04.11.16
Drawn By : JP
Checked By: EL

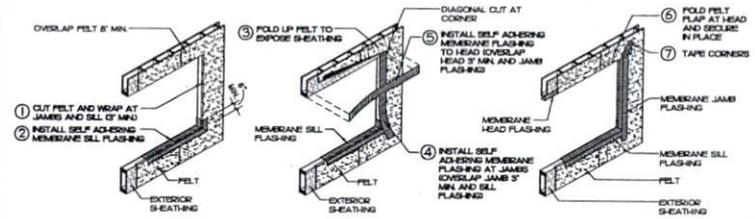
Sheet
ES2.1



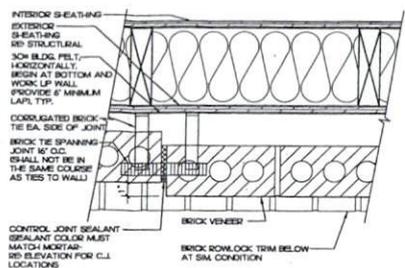
1 PHOTOMETRIC PLAN - INITIAL
SCALE: 1"=30'-0"



FRAME	HEIGHT (WALLS NOT SHOWN)	SPACING LOSS FACTOR
C	8'	1.0
OC	AT GRASS	1.0
ON	25'	1.0
OO	25'	1.0
OP	8'	1.0
OQ	11'	1.0
OR	8'	1.0



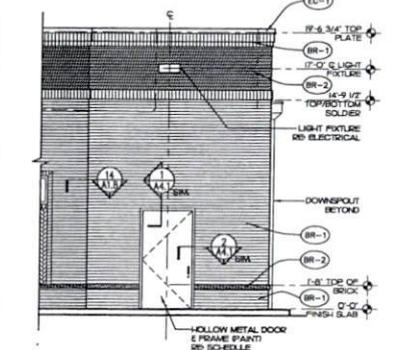
6 STOREFRONT FLASHING
NOT TO SCALE



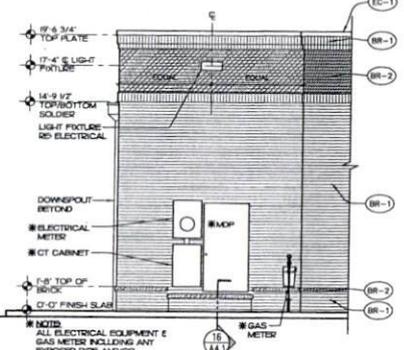
5 BRICK PLASTER DETAIL
3\"/>

EXTERIOR FINISHES - FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS		PARAPET WALL COPING	
A-1	ALUMINUM CANOPY - COVERED FINISHED COLOR - DARK BRONZE SIZE - 8'-0" LENGTH x 4'-0" DEPTH	EC-1	DURCLAST/EXCEPTIONAL METALS COLOR - DARK BRONZE (MATE)
A-2	ALUMINUM CANOPY - LOUVERED COLOR - DARK BRONZE SIZE - 24'-10" LENGTH x 3'-0" DEPTH	MP-1	ALUMINUM FASCIA & SOFFIT DURCLAST/EXCEPTIONAL METALS COLOR - DARK BRONZE (ALTERNATE, REGAL RED)
A-3	ALUMINUM CANOPY - LOUVERED COLOR - DARK BRONZE SIZE - 8'-0" LENGTH x 3'-0" DEPTH	MP-2	DURCLAST/EXCEPTIONAL METALS - COLOR - SERRA TAN
A-4	ALUMINUM CANOPY - LOUVERED COLOR - DARK BRONZE SIZE - 24'-10" LENGTH x 3'-0" DEPTH	PN-1	ALUMINUM FASCIA DURCLAST/EXCEPTIONAL METALS - COLOR - SERRA TAN
BR-1	BRICK # 1 (MODULAR SIZE) GENERAL SHALE - RED VEGUR ACME EQUIVALENT - CRIMSON MORTAR: HOLCIM. COLOR: DESIGNER TAN ALTERNATE MORTAR: BROMOX. COLOR: M-10/TAN	PF-5	PART #5 SHERWIN WILLIAMS #SW7031 "MEGA GRIFF" SEM-GLOSS FINISH ON DOOR FRAMES, SILLS & WALLS
BR-2	BRICK # 2 (MODULAR SIZE) GENERAL SHALE - SIL VERIGONE ACME EQUIVALENT - MESSON BLEND 1 MORTAR: HOLCIM. COLOR: DESIGNER TAN ALTERNATE MORTAR: BROMOX. COLOR: M-10/TAN	PF-9	PART #9 SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #846-350 COLOR - DARK BRONZE (SEM-GLOSS)
		SI-1	STOREFRONT TXX - YES 45 TXX - YES 45 AT INTERIOR PLATE AREA LOCATIONS COLOR - DARK BRONZE (MATE)

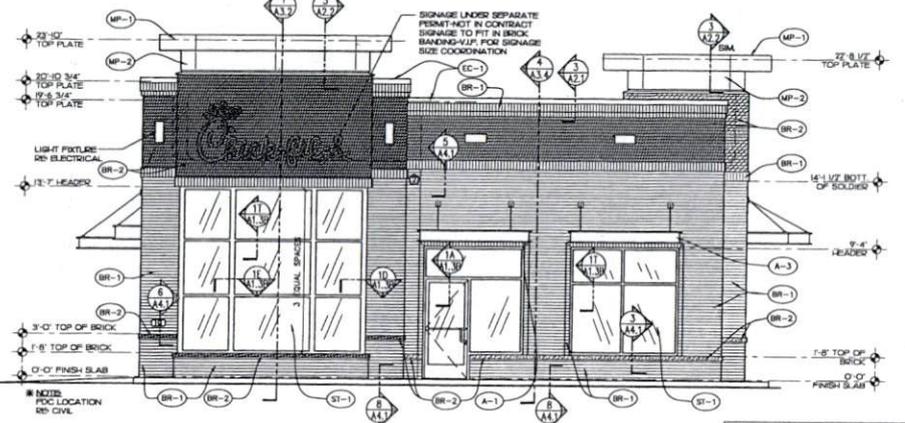
NOTE:
ALTERNATE COLOR FOR ALL CANOPIES - REGAL RED (COLOR TO MATCH MP-1). VERIFY ON PLANS.



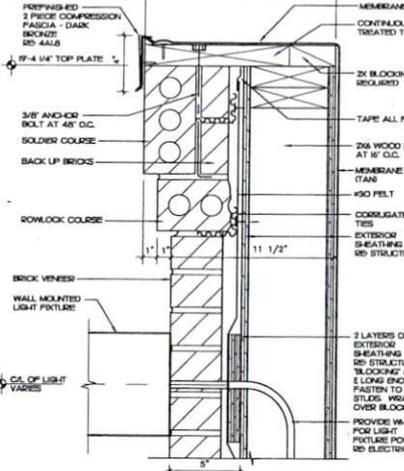
8 SIDE ELEVATION - SERVICE YARD
1/4\"/>



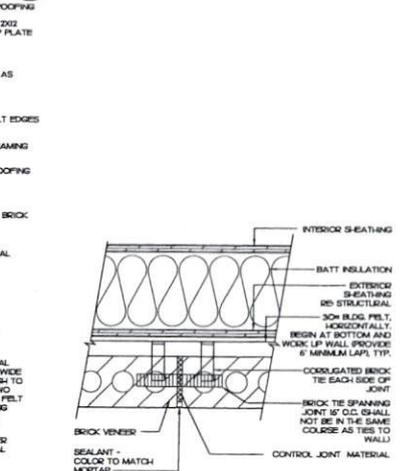
7 SIDE ELEVATION - SERVICE YARD
1/4\"/>



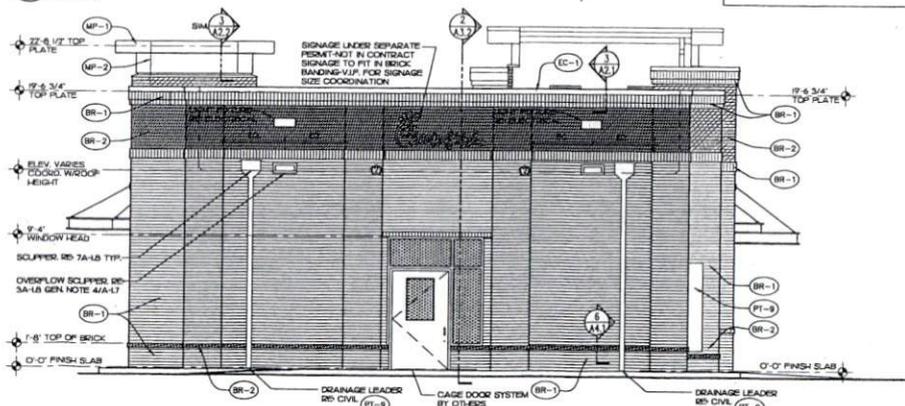
1 FRONT ELEVATION
1/4\"/>



3 PARAPET DETAIL
3\"/>



4 BRICK CONTROL JOINT DETAIL
3\"/>



2 REAR ELEVATION - SERVICE YARD
1/4\"/>

5202 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
ISSUED FOR PERMIT

Mark Date By
Mark Date By

Seal

ChipmanDesign
ARCHITECTURAL FIRM
REGISTERED PROFESSIONAL ARCHITECT

6

STORE #03870
Westledge FSU

6202 S. Westledge
Ave
Partridge, MI 48024

SHEET TITLE
EXTERIOR ELEVATIONS

VERSION: V6
ISSUE DATE: 12-2015

Job No. : 16-1472
Store : 03870
Date : 04.11.16
Drawn By : CL
Checked By : ML
Sheet

A-2.I

TO: Planning Commission **DATE:** May 13, 2016
FROM: Vicki Georgeau, ^{VA} Director of Community Development
SUBJECT: Accessory Building (Fawley), 10848 Cora Drive

I. INTRODUCTION:

An application has been received from Mr. Marc Fawley requesting approval to construct a 13-foot tall, 1,440 square foot (30-foot by 48-foot) detached accessory building along the southeast portion of 10848 Cora Drive. According to the applicant, the accessory building will be of pole building construction and will be attached along the south side of an existing 624 square foot carport. Both structures will be utilized for storage of personal items including vehicles, boats, a motor home, golf cart and lawn equipment and will not be used for any business related purposes. The approximate 2.9 acre parcel is zoned R-1C, one family residential and is located near the southern terminus of Cora Drive. Single family residential parcels also zoned R-1C abut the subject property to the north, east, west and south.

As background information, the subject property contains two single family residences that were constructed approximately in 1915 and 1920. As such, these residences are lawfully nonconforming and are governed under the nonconforming use regulations of the Zoning Code.

II. ANALYSIS:

Section 42-121 of the Zoning Code permits construction of accessory buildings that exceed the ground floor area of the main residence, subject to review and approval by the Planning Commission. To ensure harmonious relationships and minimize conflicts between adjacent land uses, the Commission considers the proposed characteristics and uses of the building in relation to existing land uses and to future land uses as shown in the Comprehensive Plan. The ordinance also allows the Commission to attach requirements/conditions deemed necessary to avoid or mitigate adverse impacts on surrounding properties.

The approximate 2.9 acre parcel contains two, one-story residences with a total ground floor area of 1,472 square feet (752 square feet and 720 square feet), along with a detached garage and a detached carport totaling 864 square feet (240 square feet and 624 square feet, respectively). A small storage shed, approximately 8-feet by 8-feet (64 square feet) is also located on the property, however, the applicant has indicated this shed will be removed with construction of the new pole barn. The total ground floor area of all accessory buildings (including the proposed detached building) will exceed the ground floor area of the main residences by 832 square feet [$864 + 1,440 = 2,304 - 1,472 = 832$].

The subject parcel is rectangular-shaped with public street frontage at the southern terminus of Cora Drive. The northern portion of the subject property is heavily wooded with the single family residences, detached garage and carport and related improvements located along the southern portion of the parcel. As identified on the attached plan provided by the applicant, the proposed detached

accessory building will be situated north of the existing residences and setback approximately 20-feet from west property line, 50-feet from the east property line and in excess of 340-feet from the north property line. Furthermore, the proposed building will be situated in excess of 130-feet from the nearest single family residence to the south, in excess of 275-feet from the nearest single family residence to the north and in excess of 300-feet from the nearest single family residence to the west.

The application fulfills ordinance requirements for issuance of an accessory building approval. The size and configuration of the parcel combined with the heavily wooded nature of the site and setback distances from adjacent residences and property lines will mitigate any impacts on adjacent properties.

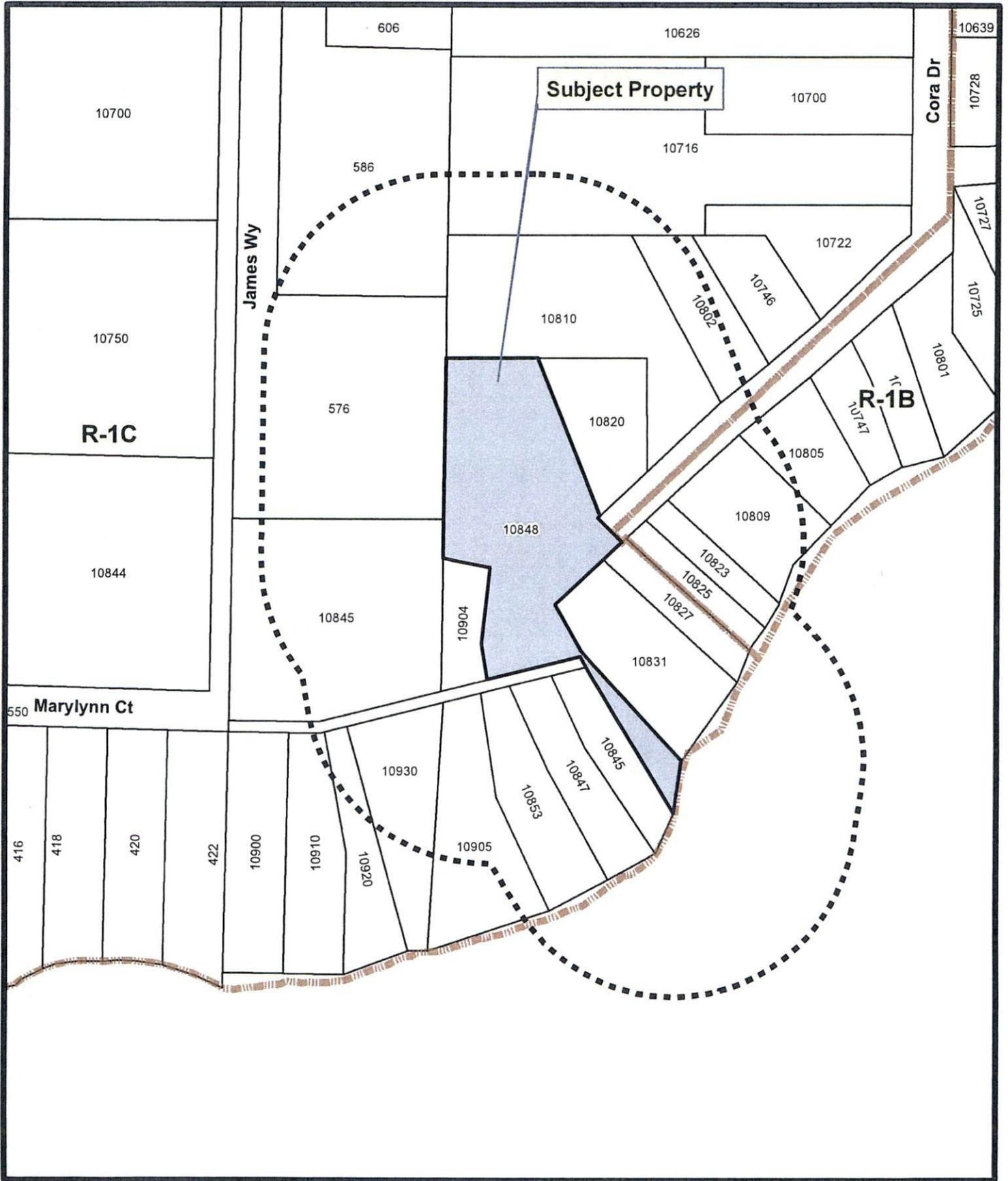
Residents/property owners within 300 feet of this property have been notified in writing of the application and Planning Commission meeting to provide them with the opportunity to comment on the proposed accessory building and use.

III. RECOMMENDATION:

Subject to any comments received, staff recommends that the proposed 1,440 square foot Accessory Building for Mr. Marc Fawley, 10848 Cora Drive, be approved.

Attachments: Vicinity/Zoning Map
Aerial Photograph
Application, Sketch Plan and Supporting Documentation

S:\Commdev\2015-2016 Department Files\Board Files\Planning Commission\PC Reports\Accessory Buildings\2016 05 13 Fawley, 10848 Cora Drive (Accessory Building).doc



-  300' Notification
-  10848 Cora Drive
-  Zoning Boundary

Accessory Building (Fawley) 10848 Cora Drive



1 inch = 208 feet



**Accessory Building (Fawley)
10848 Cora Drive**

 10848_Cora



1 inch = 125 feet

I WOULD LIKE TO BUILD A 30X48
POLE-BUILDING & INCORPORATE
EXISTING 24X26 CARPORT, ATTACHED
TO NORTH SIDE OF NEW STRUCTURE,
WILL REMOVE EXISTING EXB SMD.

WILL BE USED TO GARAGE 57' CHEVY
THAT I'M RE-DOING, ALSO A CAMARO,
GOLF CART & MISC. LAWN EQUIPMENT,
ALSO 2 BOATS THAT I WILL STORE
IN WINTER (MY PERSONAL PROPERTY).
ALSO MOTOR HOME.

MARC FAWLEY
10848 CORA DR.

RECEIVED

MAY 03 2016

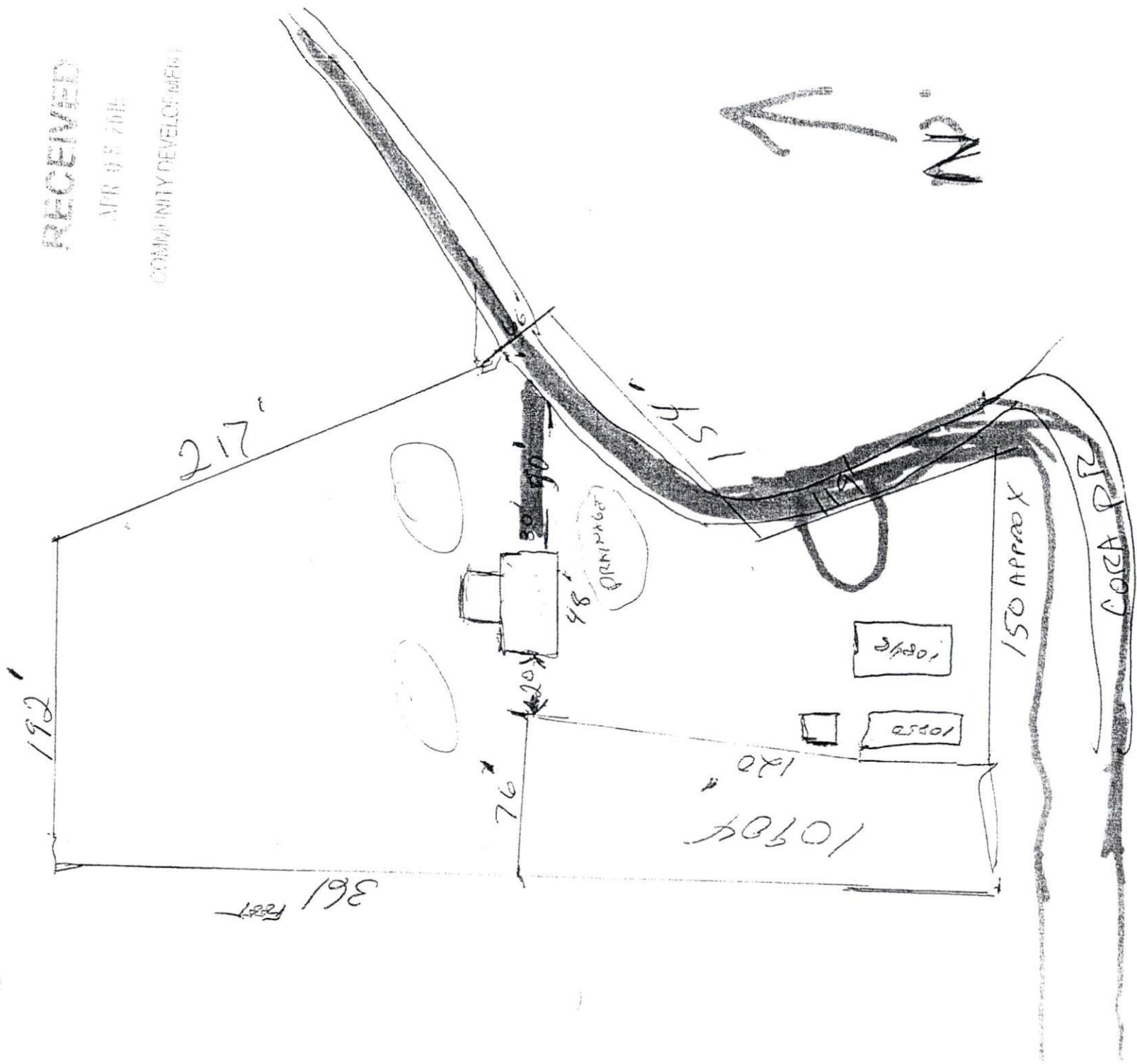
COMMUNITY DEVELOPMENT

COPY

RECEIVED

APR 08 2016

COMMUNITY DEVELOPMENT





City of Portage Map Document

web mapping by
Amalgam LLC



1:1100

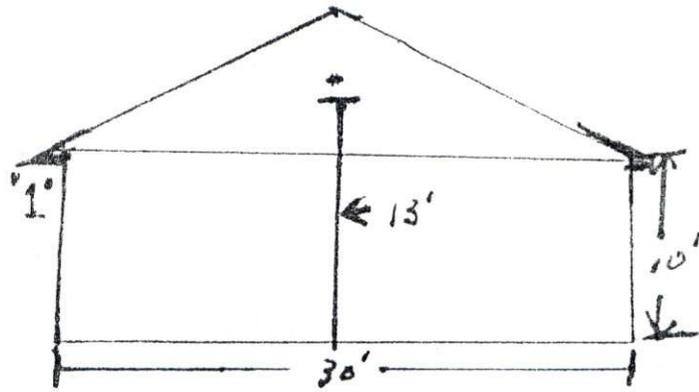
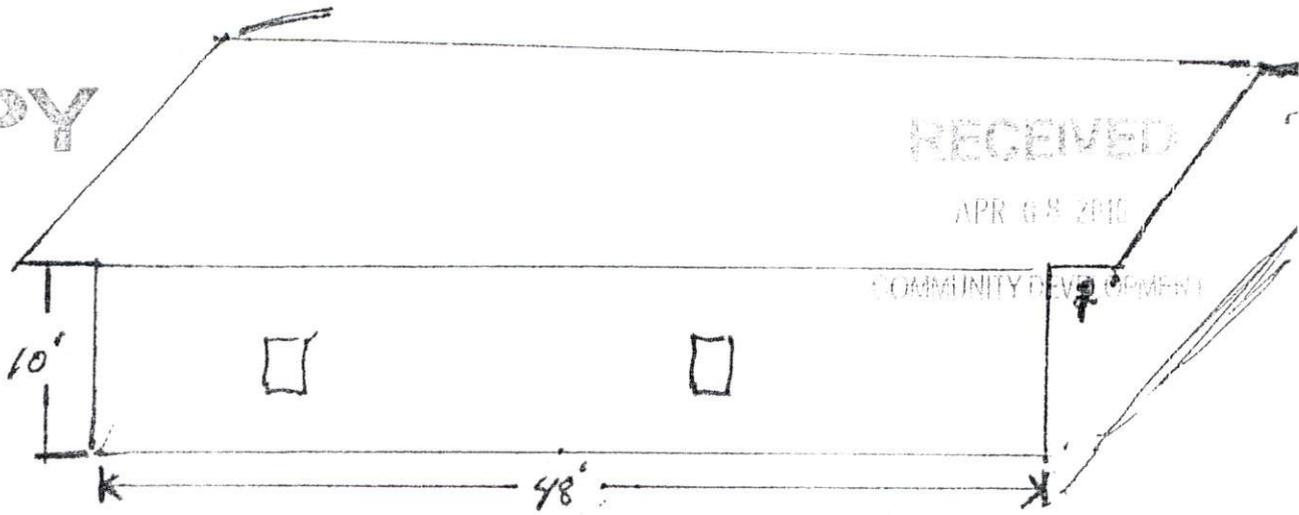
Map Publication:

Tue Apr 26 2016 02:50:55 PM

Disclaimer:

This map does not represent a survey or legal document and is provided on an "as is" basis. City of Portage expresses no warranty for the information displayed on this map document.

COPY



MATERIALS TRANSMITTED

CITY COUNCIL MEETING MINUTES FROM APRIL 26, 2016

The Regular Meeting was called to order by Mayor Strazdas at 7:30 p.m.

At the request of Mayor Strazdas, Elder John Medema of the First Reformed Church provided an invocation. The City Council and the audience recited the Pledge of Allegiance.

The City Clerk called the roll with the following members present: Councilmembers, Richard Ford, Jim Pearson, Patricia Randall, Claudette Reid, Terry Urban and Mayor Pro Tem Nasim Ansari and Mayor Peter Strazdas. Also in attendance were City Manager Laurence Shaffer, City Attorney Randy Brown and City Clerk James R. Hudson.

PROCLAMATIONS: Mayor Strazdas issued a National Children's Mental Health Awareness Day Proclamation and a National Arbor Day Proclamation. Discussion followed.

Representative Brand Iden provided a Proclamation signed by Governor Snyder honoring Mayor Strazdas for receiving the North Star Award, one of the first in Michigan. This is a tribute to Mayor Strazdas from the State Legislature for his efforts over the years with the Boy Scouts and the Girl Scouts of America. Discussion followed.

APPROVAL OF MINUTES: Motion by Ansari, seconded by Randall, to approve Regular Meeting Minutes of April 12, 2016, as presented. Upon a voice vote, motion carried 7 to 0.

Motion by Ford, seconded by Randall, to approve the Budget Meeting Minutes of April 19, 2016, as presented. Upon a voice vote, motion carried 7 to 0.

Motion by Pearson, seconded by Randall, to approve the Pre-Council Meeting Minutes of April 25, 2016, as presented. Upon a voice vote, motion carried 4 to 0 with Councilmembers Urban, Ansari and Ford abstaining.

* **CONSENT AGENDA:** Mayor Strazdas asked Mayor Pro Tem Ansari to read the Consent Agenda. Mindy Tai, 1620 Romence Road, asked that Item F.3, Medical Marihuana, be removed from the Consent Agenda. Motion by Urban, seconded by Reid, to approve the Consent Agenda Motions as amended. Upon a roll call vote, motion carried 7 to 0.

* **APPROVAL OF ACCOUNTS PAYABLE REGISTER OF APRIL 26, 2016:** Motion by Urban, seconded by Reid, to approve the Accounts Payable Register of April 26, 2016, as presented. Upon a roll call vote, motion carried 7 to 0.

PUBLIC HEARING:

2016 UTILITY RATE FINANCIAL STUDY: At the request of Mayor Strazdas, City Manager Larry Shaffer provided some introductory remarks, prior to the review of the 2016 Utility Rate Financial Study by Transportation & Utilities Director Chris Barnes.

Mr. Barnes began with an Overview of the Annual Rate Analysis:

- Prior to 1986 utility rates were reviewed on an as needed basis which lead to unpredictable charges.
- In 2008 the City received notice from the State of Michigan requiring a plan to eliminate the deficit in the utility funds.
- Annual review of expenses and rates is an excellent means of review of utility costs and keeps the rate changes consistent and predictable.
- 2016 proposed rate increase is 0.75% or \$0.47 per month for the average residential customer.

Mr. Barnes provided a linear Rate Adjustment Graph for the typical Residential Customer and indicated that the rate increase percentages are trending down. He reviewed a Water Production bar graph showing gallons of water supplied each year since 2005 showing a decrease in consumption owing to efficiencies and irrigation increases. He noted three key issues raised as a part of the Utility Rate Committee Meeting and two Water Facility Open Houses: water quality and public health, planning and forecasting for the future, and value of water/cost of service.

Mr. Barnes noted a concern for the water quality by Portage residents with over 200 people attending the Open House in conjunction with the Greenathon. He indicated that there are no lead water service pipes in Portage; however, homes built before 1995 may have some lead in the solder used on the copper pipes installed at that time, presented a graph depicting the 2016 water sample test results for lead in Portage and explained. He provided a Water Use slide shaped like a drop of water that segmented how and why water is deployed and used in Portage.

Next, Mr. Barnes reviewed the presence of iron in Portage water and indicated Portage water is naturally hard and high in iron. He said that the most effective means for the customer to remove hardness and iron is with water softener or iron filter at the point of use, and revealed that the cost to remove iron from the water system is approximately \$65 to \$130 million and would triple the current water rates. Discussion followed.

He cited some of the elements of future planning and forecasting, including: systematic replacement of 1 to 2 miles per year of older cast iron water mains; water rehabilitation and replacement; well construction and rehabilitation; water reliability study every five years; testing of water supply for unregulated contaminants; and wellhead and groundwater protection.

Mr. Barnes continued by discussing the components of the Water Fund, including: operation and maintenance performed by Suez Water Environmental Services, equipment and building rental, city administration and oversight, debt service for water capital improvements, and cash reserves for emergencies or project financing. He also mentioned that there are additional costs related to groundwater protection, such as: landfill testing at South Westledge Avenue Park, Retention Basin monitoring, mowing and maintenance, street sweeping, as well as storm sewer and catch basin maintenance and replacement. He pointed out that the City of Portage performs these services while still positioning itself the third from the bottom in annual city taxes and fees of cities of comparable size in the State.

He finished up by showing the comparison that bottled water costs \$6.34 per gallon, filtered store brand water costs \$0.89 per gallon and Portage tap water costs only 0.3 cents per gallon! He reviewed the rate recommendations as outlined in the 2016 Utility Rate Financial Study.

In answer to Mayor Pro Tem Ansari, Mr. Barnes indicated that Mr. Shaffer has established \$4.3 million as a cash reserve in the Water and Sewer Fund with a significant portion of that amount being retained for the construction of a water tower at Haverhill Park area in order to avoid a debt of about \$7.5 million since only about half of the cost of the water tower would be funded with issuance of a bond. Mayor Pro Tem Ansari read the percent rate change listing on page 2 of the 2016 Utility Rate Financial Study and expressed a desire to pass excess funds on to Portage citizens as his conscience cannot justify any rate increases. Using the Consumers Price Index, Mr. Barnes said the 0.47% increase is well under the typical cost increase and the increases were because of building some very significant projects and explained that the utilities fund is an enterprise fund which has to pay for infrastructure.

City Manager Shaffer concurred with Mr. Barnes and explained that over the years, the dramatic fluctuations of the fund was in direct response to putting on an extreme amount of debt on the water users, and not adjusting the rate periodically to adjust for increases in expenses. He concurred with Mayor Pro Tem Ansari that all rate increases are to be avoided, but the City philosophy is "Let's go slow, and let's go low" in order to get reasonable stability and predictability, so as to avoid periodic rate shock increases. He summed up by saying, over the long term, the rate is going to be modest and predictable and the plan is to apply cash reserves for future infrastructure needs, rather than bonding for those needs.

Mayor Strazdas opened the public hearing to the audience. There being no comment, motion by Reid, second by Ford, to close the public hearing. Upon a roll call vote, motion carried 7 to 0.

Motion by Ford, seconded by Reid, to adopt the recommendation that the sewer commodity rate remain at \$4.60 per 1,000 gallons of metered water; the recommendation that the water commodity rate remain at \$3.19 per 1,000 gallons of metered water; the recommendation that adjustments be made to both the sewer and water base quarterly charges as noted in the 2016 Utility Rate Financial Study; the recommendation that the new rates become effective on October 1, 2016; and the recommended water and sewer franchise area fees and other service fees and charges as outlined in the 2016 Utility Rate Financial Study. Discussion followed. Mayor Strazdas recognized the work of Councilmembers Reid and Ford for their work on the Utility Rate Committee and thanked them. Discussion followed. Upon a roll call vote, motion carried 6 to 1. Yeas: Councilmembers Ford, Pearson, Randall, Reid, Urban and Mayor Peter Strazdas. No: Mayor Pro Tem Nasim Ansari. Resolutions recorded on pages 153 and 159 of City of Portage Resolution Book No. 46.

REPORTS FROM THE ADMINISTRATION:

* **PUBLIC HEARING ON FISCAL YEAR 2016-2017 BUDGET:** Motion by Urban, seconded by Reid, to adopt the Resolution setting a public hearing on May 10, 2016, at 7:30 p.m. or as soon thereafter as may be heard, for the Fiscal Year 2016-2017 proposed city budget and the proposed 2016 tax levy. Upon a roll call vote, motion carried 7 to 0. Resolution recorded on page 163 of City of Portage Resolution Book No. 46.

* **ADOPTION OF BOND RESOLUTIONS:** Motion by Urban, seconded by Reid, to adopt the Bond Resolution for Bonds Not To Exceed \$3,250,000, City of Portage Capital Improvement Bonds, Series 2016 (New Improvements and Refunding Project), and adopt the Resolution Approving the Undertaking to Provide Continuing Disclosure by the City of Portage for the Capital Improvement Bonds, Series 2016 (New Improvements and Refunding Project). Upon a roll call vote, motion carried 7 to 0. Resolutions recorded on pages 165 and 177 of City of Portage Resolution Book No. 46.

MEDICAL MARIHUANA: After a discussion with City Attorney Randy Brown, Mayor Strazdas recused himself as he has a relative associated with one of the businesses that are the subject of this item and left Council Chambers. Mayor Pro Tem Ansari deferred to City Manager Shaffer, who suggested offering podium to Mindy Tai, 1620 Romence Road, who asked that Item F.3, Medical Marihuana, be removed from the Consent Agenda. Ms. Tai asked that the City Council refrain from adopting a moratorium on the enforcement of the City of Portage Ordinance 42-129. She stated that she has nothing against the Medical Marihuana Law, but does have a problem with people who break the law. She expressed her impression that the two shop owners disregarded the City of Portage Ordinance and continued to do business after the Zoning Board rejected their appeal of a Cease and Desist Order. She said there is no hardship since they can move to a municipality that allows for a store front. She summed up and restated her request that the City Council refrain from adopting a moratorium on the enforcement of the City of Portage Ordinance 42-129.

Mr. Shaffer explained that the moratorium does not in and of itself stay the enforcement of the Ordinance without City Council approval of a stay upon the two entities in question. He also explained that the moratorium only grants a specific amount of time for the City of Portage to review the construction of the Ordinance and provide the opportunity to revise the Ordinance to the improvement of our community. Mayor Pro Tem Ansari indicated that the proposed action before City Council contemplates this discussion at the Regular City Council Meeting of May 10, 2016. City Attorney Brown interjected that the moratorium actually prohibits the establishment expansion of businesses that are presently in existence against whom the enforcement action is being brought; also, the suggested action before City Council is to schedule a public hearing on the ordinance on May 10, 2016, while the City reviews this Ordinance and explores possibilities.

Councilmember Randall asked whether it is appropriate for Council to direct the Administration and Public Safety regarding how to act during this period of reflection and review as support and to stay enforcement during this period. Mr. Brown indicated that the offering of the motion is certainly in order and it is up to City Council whether it passes or not. In answer to Councilmember Reid, Mr. Brown referenced the moratorium and the stay of enforcement as two different issues and whether Council passes the moratorium or not, the enforcement continues and explained. Discussion followed.

Motion by Urban, seconded by Reid to accept a temporary moratorium ordinance pertaining to Medical Marihuana for first reading and consider ordinance adoption on May 10, 2016. In answer to Councilmember Pearson, City Attorney Brown indicated that the passage of this motion does not preclude the motion suggested by Councilmember Randall at the last meeting to stay the enforcement of the Ordinance. Discussion followed. After a point of order, motion by Urban, seconded by Reid to accept a temporary moratorium ordinance pertaining to Medical Marihuana for first reading and schedule a public hearing on May 10, 2016, at 7:30 p.m. or as soon thereafter as may be heard, and after the public hearing, consider adoption of the ordinance. Discussion followed. Upon a roll call vote, motion carried 6 to 0.

Motion by Randall, seconded by Pearson to direct the City Manager to temporarily refrain from issuing citations or enforcing any currently issued citation(s) for a business operation on April 26, 2016, which is engaged in registered qualifying patient/registered caregiver exchanges or dispensing of medical marihuana to registered qualifying patients until such time as a Moratorium Ordinance has expired or an ordinance is adopted by Council addressing issues concerning the medical use of marihuana under the Michigan Medical Marihuana Act, whichever occurs first. This applies only to a business which has exhausted its administrative remedies under the Portage Zoning Ordinance through the Zoning Board of Appeals. This does not apply to building, plumbing, electrical, or non-zoning code violations, nor does it give any rights as a non-conforming use of otherwise. If an ordinance is adopted as described above, such businesses shall conform to the ordinance or cease its operations. Discussion followed.

Councilmember Pearson spoke in favor of passing this motion now because waiting two weeks only allows two weeks for a business to establish itself in time to be covered under the stay of enforcement.

Councilmember Urban spoke in opposition to the ordinance because it was admitted in front of us that at least one of these two businesses knew that our interpretation of our ordinance prohibited their business, and they decided on their own the Ordinance was either illegal or ineffective and opened their business. He indicated that this is for the Court to decide before the fact, not after the fact. He stated that he is not sympathetic to people who choose to break the law, make us enforce our laws and force us to shut them down after the fact, and make money in the meantime. He viewed it as "scofflaw" which he has never favored, and used developers as an example who have tried to do this in the past, among others.

Councilmember Pearson indicated he watched the Zoning Board of Appeals meeting which lasted four hours where this matter was addressed, and the recurring theme was that the Zoning Board of Appeals members needed guidance because it is not clear what to do. He also indicated that the dispensary owners have not had the chance to go to Circuit Court and exhaust all of their remedies and explained giving examples.

In answer to Councilmember Reid, City Attorney Brown indicated that the motion would stay enforcement for any operation that is operating as of today that went to the Zoning Board of Appeals. Mayor Pro Tem Ansari expressed his desire to have this motion considered at the public hearing to allow the public time for review. Councilmember Randall reminded him that the Council has had this motion for two weeks and the City Manager (and the Police Department) needs guidance from City Council on this matter and explained. Councilmember Ford cited pending legislation in the State, the ZBA proceedings and indicated that the motion addresses an administrative matter and enforcement is up to the City Manager, and not City Council, and City Attorney Brown responded he is correct and that is why the motion is written that the City Manager has "requested to temporarily refrain" in order to

have some type of direction from City Council. Mr. Brown concurred with Councilmember Ford that the City Manager could follow whatever direction he may decide on his own initiative.

Councilmember Reid indicated that she wants to give very clear direction to the City Manager that she feels he should be enforcing our current ordinances. She indicated that businesses came in, recognized the ordinances, what was going on in the City, and chose to open businesses that were not in alignment with that. She said that it is a separate issue of whether we should be making any changes in how we handle medical marihuana, and that has to do with the moratorium which will be discussed on May 10, 2016. She reminded everyone that we have people who have knowingly broken the law and, for us to say we are not going to do anything and allow them to continue to do business during the time that we are figuring it out, sends a very wrong message; therefore, she restated her wish to give very clear direction to the City Manager that he should be enforcing our current ordinances. Discussion followed.

Mr. Brown reminded Council that a two thirds vote is necessary for the motion, or a 4 to 2 vote; if it is a 3 to 3 vote, the motion fails. Councilmember Randall spoke in favor of the motion and directed her comments to Mayor Pro Tem Ansari. Motion by Urban to call the question. City Attorney Brown indicated a second is necessary, and Councilmember Reid seconded. Mr. Brown indicated that if there is no opposition to calling the question, then it can proceed with the vote, but if there opposition then the calling of the question has to have a vote on its own which would require four votes or two thirds of the majority of those present. Discussion followed.

Upon a roll call vote, motion to call the question failed 3 to 3. Yeas: Councilmembers Reid and Urban and Mayor Pro Tem Nasim Ansari. No: Councilmembers Ford, Pearson and Randall. Discussion followed. City Manager Shaffer stated his position and explained that he would be reluctant to take any action over the next two weeks. Discussion followed.

Councilmember Randall withdrew her motion, and Councilmember Pearson agreed, and asked for the assurances of the City Attorney and the City Manager and anyone else to provide Mayor Pro Tem Ansari the plethora of information that he needs to understand the issue for the next City Council Meeting and take a vote at that time.

Motion by Randall, seconded by Pearson, to table this motion until the May 10, 2016 Regular City Council Meeting. Upon a roll call vote, motion carried 5 to 1. Yeas: Councilmembers Ford, Pearson, Randall and Reid and Mayor Pro Tem Nasim Ansari. No: Councilmember Urban.

* **EMERGENCY VEHICLE APPARATUS MAINTENANCE CONTRACT:** Motion by Urban, seconded by Reid, to award a three-year sole source contract, with the option for one three-year extension, to Emergency Vehicle Products for maintenance of all fire emergency apparatus and authorize the City Manager to execute all documents related this action on behalf of the city. Upon a roll call vote, motion carried 7 to 0.

* **COOLEY DRIVE AND WEST CENTRE AVENUE TRAFFIC SIGNAL AND RELATED RIGHT-OF-WAY IMPROVEMENTS:** Motion by Urban, seconded by Reid, to approve the Development Agreement concerning the construction of a traffic signal and related right-of-way improvements at the intersection of Cooley Drive and West Centre Avenue. Upon a roll call vote, motion carried 7 to 0.

* **FIREFIGHTER PHYSICALS:** Motion by Urban, seconded by Reid, to award a one-year contract to Professional Health Services, Inc., for administering firefighter physicals at a cost not to exceed \$28,703 and authorize the City Manager to execute all documents related to the contract on behalf of the city. Upon a roll call vote, motion carried 7 to 0.

* **MARCH 2016 SUMMARY ENVIRONMENTAL ACTIVITY REPORT:** Motion by Urban, seconded by Reid, to receive the communication from the City Manager regarding the March 2016 Environmental Report as information only. Upon a roll call vote, motion carried 7 to 0.

COMMUNICATIONS:

ANNUAL UPDATE OF THE PARK BOARD: At the request of Mayor Strazdas, Park Board Chairperson Kathleen Hoyle reviewed her communication to City Council dated March 22, 2016, and contained in City Council Agenda Packet of April 26, 2016. Discussion followed.

Motion by Ford, seconded by Reid, to receive the Annual Update of the Park Board from Park Board Chairperson Kathleen Hoyle. Upon a voice vote, motion carried 7 to 0.

JUDY ANDERSON, 6737 BRATCHER STREET: Judy Anderson, 6737 Bratcher Street, objected to the plan to remove the driveway on the terrace space between the sidewalk and the curb which the City does each time a roadway is reconstructed.

Barbara Scott, 6749 Bratcher Street, spoke in support of Ms. Anderson's position and asked if the paved parking spot could be grandfathered in and City Attorney Randy Brown indicated that a private citizen cannot claim an interest in a public right-of-way and grandfathering is not an appropriate concept in this case as there is no lease or license interest in that property, and City Council would have to take that action. Discussion followed.

Vincent Heller, 6846 Cornell Street, concurred with Ms. Judy Anderson. Discussion followed.

Motion by Reid, seconded by Urban, to receive the communication from Judy Anderson regarding Right-of-Way encroachments in the Ringdale Plat and direct the City Manager to engage with petitioners and have a report for City Council for the May 10, 2016 Regular City Council Meeting. When Ms. Anderson asked if cars could be parked on the lawn, Mayor Strazdas directed Mr. Shaffer to include a response in his report. Upon a roll call vote, motion carried 6 to 0 with Councilmember Ford abstaining.

UNFINISHED BUSINESS:

REZONING APPLICATION #15/16-2 (ADMIRAL AVENUE/DORSET STREET): At the request of Mayor Strazdas, Mr. Shaffer indicated that he walked the site, conference-called three property owners, met with one property owner and spoke with Chad Scott twice. He also talked with Community Development Director and came up with a compromise of all things considered. He mentioned three options: to do nothing and leave the zoning as is, to approve the recommended approach provided by the Planning Commission, or to make all of the recommendations provided by the Planning Commission except for one compromise, a notion that allows truncate the area to the north of Admiral and Cameo to allow for the maximum of two duplexes. With that, he deferred to Community Development Director Vicki Georgeau outlined the proposed zoning recommendation using a map which is the same as the Planning Commission recommendation except that the north 125 feet of 480 Admiral Avenue be rezoned to R-1T. She described the subject property and its topography.

When Mayor Strazdas asked for assurances that she could give to the neighbors, or how much is swamp or high ground, Ms. Georgeau concurred that the determination of topography and wetland areas is not reviewed during the rezoning process, and the applicant would be required to submit documentation that the Department of Environmental Quality reviewed the land. However, based upon the site inspections, she said the land is buildable on the north end, but whether or not the builder could get more than one building on the north end would have to be determined by the property owner during the development process. She concurred with Mayor Strazdas that this will be determined by expert opinions. Discussion followed and Ms. Georgeau provided maps with a couple of options. Discussion followed.

Bryan Cederberg, 612 Dorset Street, reviewed his e-mail to City Council dated April 26, 2016, and spoke in favor of approval of Rezoning Application #15/16-2 as recommended by Vicki Georgeau, Director of Community Development, at the March 22, 2016 Regular City Council Meeting.

Monica Whipple, 618 Dorset, objected to any building on the land in question because it is wetland and commented that it would hinder the wildlife living there.

Alisha Cederberg, 612 Dorset Street, spoke in favor of leaving the property zoned as is and pointed out that the duplex would have a single family home on either side of the proposed structure and the end of Dorset and Cameo. Discussion followed.

Mayor Pro Tem Ansari asked about the original Planning Commission recommendation, and asked Ms. Georgeau, "What changed?" Ms. Georgeau indicated that once the Planning Commission reviewed the application submitted by Chad Scott to rezone 480 Admiral Avenue, the Planning Commission wanted a better understanding of the irregular zoning pattern of this neighborhood and how it compared to the existing land use. She said that the Planning Commission decided to expand the zoning of the existing properties in December 2015 along Dorset, as well as the city-owned property along Romence and the Railroad tracks that is designated as a part of the Bicentennial Trail, and an area of the duplex property that is zoned I-1, light industrial, which did not really make sense, so the Planning Commission decided to initiate the rezoning and the R-1T, attached residential, properties are all developed as R-1A, one family residential. She referred Mayor Pro Tem Ansari to the City Council Agenda Packet for further history of the item. She disclosed that five of the seven property owners on Dorset actually submitted a petition to change their zoning from R-1T, attached residential, to R-1A, one family residential, which showed they were not in favor of having duplexes in the interior of this neighborhood. She explained that her review of other cities with attached residential next to one family residential homes does not necessarily result in a negative impact. She concluded that the R-1A, one family residential, is the most consistent with this neighborhood, and the R-1T, attached residential, is consistent, just not as consistent, and not completely incompatible. Discussion followed.

Mr. Shaffer summed up that there was no motion at the last meeting on the recommendation before City Council, so the Administration reconsidered the matter, and the R-1T, attached residential, was determined to be a reasonable option for consideration. Discussion followed.

In answer to Councilmember Randall, Ms. Georgeau indicated that Chad Scott said he would cut down all of the trees on this (wet land) property if he did not get his rezoning request. Discussion followed. When Ms. Georgeau broached the subject of the need for a permit from the Department of Environmental Quality (DEQ) to cut his trees, Councilmember Urban interjected that Chad Scott does not need a permit from the DEQ to cut his trees; he would need one only if he plans to remove the stumps. Councilmember Randall cited a failed rezoning request on M-43 of 45 acres where the owner did cut all of the trees and removed the stumps without getting a permit from the DEQ.

When Councilmember Reid asked whether the owner could bring in fill in order to make the property buildable and assist with the development, Ms. Georgeau noted that evidence from the DEQ would be necessary to determine that a permit is not required, or showed that they have obtained a permit that complies with the wetland regulations of the State before a building permit would be issued.

Councilmember Reid asked if this compromise was approved, how would a shared drive work on this plan and Ms. Georgeau responded that there is not a limit on the number of dwelling units an owner can have on a property when it is zoned other than one family residential and explained the builder would have an option to design one or two drives with this plan.

Mayor Strazdas asked whether anything can be built on this site; what can be done with a multiple or a single unit; and isn't the threshold question, "Is the land buildable?" Further, Mayor Strazdas asked Mr. Brown whether the question can be asked as a part of the rezoning process or not. Mr. Brown indicated that the issue of whether the property is buildable or not is not totally irrelevant, but what is more important is whether the zoning is in conformance with the Comprehensive Plan, the future land use elements of that Plan, and the other standards we have reviewed in the past with regard to zoning principles.

Councilmember Ford asked how two structures could be positioned on the land, and Ms. Georgeau responded staff has had limited conversations with the applicant who originally submitted a fourplex which fit, but would require access to a major thoroughfare; and, since a duplex only requires 12 feet of separation, she said that it is believable that there is enough area for two duplexes and explained. Discussion followed. Mayor Strazdas summed up.

In answer to Councilmember Urban, Ms. Georgeau indicated that the builder could build a driveway across the R-1A, one family residential, or I-1, light industrial, on the southern portion of his

property for access since the only limitation is that a driveway cannot be built across a residential zoned property to access a parking lot.

Motion by Pearson, seconded by Ansari, to approve Rezoning Application #15/16-2 as follows: 480 Admiral Avenue: rezone from I-1, light industrial, and RM-1, multiple family residential, to R-1A, one family residential, except that the north 125 feet of 480 Admiral Avenue be rezoned to R-1T, attached residential; 514, 520, 526, 532, 606, 612 and 618 Dorset Street: rezone from R-1T, attached residential, to R-1A, one family residential; 6843, 422 and 426 Dorset Street (rear portions): rezone from I-1, light industrial, to R-1A, one family residential; and 6979 South Westnedge Avenue: rezone from I-1, light industrial and RM-1, multiple family residential, to R-1A, one family residential (except the western portion which is to remain zoned B-2, community business). Councilmember Reid spoke in opposition to the motion. Discussion followed. Upon a roll call vote, motion carried 6 to 1. Yeas: Councilmembers Urban, Ford, Pearson and Randall, Mayor Pro Tem Ansari and Mayor Strazdas. No: Councilmember Reid. Discussion followed. Mr. Shaffer indicated that as a result of a tour of the neighborhood with Mr. Cederberg, the City plans to find the funds next year to resurface the streets in the neighborhood, and take care of the drainage issue that surfaced.

* **MINUTES OF BOARDS AND COMMISSIONS:** City Council received the minutes of the following Boards and Commissions:

Portage Public Schools District Advisory Council of February 18, 2016.
Portage Youth Advisory Committee of March 14, 2016.
Portage Planning Commission of April 7, 2016.

COUNCIL COMMITTEE REPORTS: Councilmember Ford provided a report regarding permit requirements for irrigation wells discussion at the Kalamazoo County Environmental Health Advisory Council Meeting, but no action was taken. In answer to Councilmember urban, Councilmember Ford indicated a commercial well has to obtain a permit, but the County was interested in having the residents obtain a permit for private wells. Motion by Reid, seconded by Ford, to receive the oral report from Councilmember Ford regarding the Kalamazoo County Environmental Health Advisory Council Meeting. Upon a voice vote, motion carried 7 to 0.

BID TABULATIONS:

* **TRAFFIC SIGNAL EQUIPMENT AND MATERIAL PURCHASE – BID TABULATION:** Motion by Urban, seconded by Reid, to award a contract for the purchase of traffic signal poles, mast arms and assemblies to Maico Industries, Inc., in an amount not to exceed \$153,873 for: a traffic safety project on South Westnedge Avenue and Romence Road, a traffic signal upgrade on South Westnedge Avenue and Kilgore Road, new traffic signal installation on West Centre Avenue and Old Centre Avenue and additional inventory stock and authorize the City Manager to execute all documents related to the contract on behalf of the city. Upon a roll call vote, motion carried 7 to 0.

* **INDEPENDENT AUDIT SERVICE – BID TABULATION:** Motion by Urban, seconded by Reid, to award an independent audit service contract to Yeo & Yeo PC of Portage, Michigan, for a three-year cost not to exceed \$71,400, with an option for three one-year renewals, and authorize the City Manager to execute all documents related to this contract on behalf of the city. Upon a roll call vote, motion carried 7 to 0.

OTHER CITY MATTERS:

STATEMENTS OF CITY COUNCIL AND CITY MANAGER: Councilmember Reid mentioned the interest exhibited by Portage residents in moving toward a greener city, and her appreciation for efforts of the Parks personnel and the Youth Advisory Committee (YAC), at the

Greenathon on Saturday at Celery Flats. She said the attendees were so moved by the event that they did not want to move along after the Greenathon ended at 2 p.m. She also cited the move by the Public Media Network (PMN) to provide live streaming of governmental programming on all windows-based platforms. She congratulated PMN Member Frank Jamison, who received the Star Volunteer Award.

Councilmember Randall concurred with Councilmember Reid and noted that the Greenathon is growing every year and has moved into the category of one of the most attended events every year. She also mentioned the move by Chris Barnes to have an open house at the Water Treatment Facility in conjunction with the Greenathon. She took this opportunity to ask for applications for the Youth Advisory Committee (YAC), who will meet, Tuesday, May 10, 2016, at 5:15 p.m. for interviews in City Hall Conference Room #1. She talked about the 26th Tree Planting Ceremony earlier at 5:45 p.m. and the tree that was donated and moved on site by Romence Gardens. Mayor Strazdas expressed his appreciation to Bob Romence and noted how well he works with us.

City Manager Larry Shaffer acknowledged the efforts of Chis Barnes and his team for their move to sponsor the two open houses at the Water Treatment Facility, the last one in conjunction with the Greenathon.

Mayor Pro Tem concurred with Mr. Shaffer regarding the two open houses at the Water Treatment Facility, and congratulated Ms. Diane Schrock, who will be receiving the much deserved Community Service Award from the Portage Rotary, tomorrow, April 27, 2016.

Mayor Strazdas thanked Deputy City Clerk Adam Herringa for his efforts with the YAC and the Greenathon and complimented City Council and their move years ago to create the Youth Advisory Committee to get Portage youth involved in local government. He mentioned that he was selected to be on the Judge Committee to help choose the recipient of the Star Volunteer Award, which proved to be a great opportunity to thank all of the volunteers in Southwest Michigan, who put in hundreds of thousands of volunteer hours. He said many of them were from Portage or volunteer in Portage. He indicated he was chosen to speak at the Rotary Dinner at the Air Zoo on Friday night which had a great turn-out and thanked all of the Rotarians for their service.

City Clerk James Hudson reminded everyone to vote at the Special Election on Tuesday, May 3, 2016, the Public Safety Millage Renewal and the millage for the Kalamazoo County Transit Authority.

MATERIALS TRANSMITTED:

* **DEPARTMENTAL MONTHLY REPORTS:** Motion by Urban, seconded by Reid, to receive the Departmental Monthly Reports. Upon a roll call vote, motion carried 7 to 0.

* **MATERIALS TRANSMITTED OF APRIL 12, 2016:** Motion by Urban, seconded by Reid, to receive the Materials Transmitted of Friday, April 12, 2016. Upon a roll call vote, motion carried 7 to 0.

ADJOURNMENT: Mayor Strazdas adjourned the meeting at 10:54 p.m.

James R. Hudson City Clerk

*Indicates items included on the Consent Agenda.

**MINUTES OF THE COMMITTEE OF THE WHOLE WORK SESSION
OF APRIL 26, 2016**

Mayor Strazdas called the meeting to order at 6:00 p.m. The following Councilmembers were present: Richard Ford, Jim Pearson, Patricia M. Randall, Claudette Reid and Terry Urban, Mayor Pro Tem Nasim Ansari and Mayor Peter Strazdas. Also present were Heather Baker of Southwest Michigan First, City Manager Larry Shaffer, Deputy City Manager Rob Boullis, Director of Technology Services Devin Mackinder, Community Development Director Vicki Georgeau, City Attorney Randy Brown and City Clerk James Hudson.

Mayor Strazdas introduced the topic "Branding" and deferred to Larry Shaffer, who outlined the agenda for City Council. He turned it over to Devin Mackinder, who reviewed the history of branding in Portage, including the catch phrases and logo revisions since the 1960's. He focused on the planning process involved with "A Natural Place to Move," a phrase that was developed concurrent with the 50th Anniversary of the City.

Vicki Georgeau discussed the details involved in the implementation of "A Natural Place to Move" which focused on funding, resources and events that encouraged a variety of Portage citizen movement. She listed some of the marketing and promotional efforts, infrastructure and strategies used during the Vision 2025 Renewal Event.

Heather Baker indicated that Branding has to do with people, people who identify with other like people, either for protection or because they just want to be with other people, so Portage needs to consider this when deciding who to target with their Branding. She asked some questions for consideration, "Is it education; is it everyone; is it people from specific places? Does the Branding represent the past of Portage, or the future of Portage? She discussed the things not to do when considering a Brand and referred to segments of her Southwest Michigan First handout, *Branding a Community: What's the importance of the "mark?"* She reviewed why Brands matter and why our Brand is important. Discussion followed.

Ms. Baker defined Brand Rebuild, Brand Refresh and Brand Retool and the estimated time and cost associated with each. She cited Raleigh, North Carolina, Dayton, Ohio and Columbus, Indiana as examples of places that are doing Branding well. Discussion followed.

There were no statements of citizens.

ADJOURN: Mayor Strazdas adjourned the meeting at 7:07 p.m.

James Hudson, City Clerk